



# Staff Report

## Major Subdivision Case#SDF2013-3-2

Planning Commission Hearing: Thursday August 1, 2013

City Council: Introduction – 8/6/2013 Final- 8/20/2013

**Attachments:** Application, Property Information Sheet, Photos, Zoning Map, Aerial Map, Final Plat & Construction Plans, Review Engineer Letter, Water/Sewer Dept. Letter, Streets Dept Letter

### **CITY COUNCIL REQUEST: (Resolution)**

Preliminary approval for Major Subdivision construction of Holly Gardens Phase 2 (formerly Covington Gardens) residential subdivision (lots 1-41, G1, G2, G3, G4, & G5) located at 1406 S. Holly St. all in accordance with survey by Dennis L. Gowin and construction plans by Kiley Fellom Bates; Zoned R5 (SDF2013-3-2) Recommend approval by Planning Commission

### **SITE INFORMATION:**

**Location (Address):** 1406 S. Holly St.

**COUNCIL DISTRICT:** 2-Jason Hood

**Site Description:** This was formerly Covington Gardens Phase 2 on the west side of S. Holly Street. L-2B lateral cross the northern portion of this development. The utilities and streets will be public.

**Existing Zoning:** R5    **Existing Land Use:** Undeveloped    **Future Land Use:** Single-family Residential

### **ADJACENT LAND USE AND ZONING:**

**Direction:**

**North:**

**South:**

**East:**

**West:**

**Land Use/Zoning:**

State Farm Insurance/**B1 & R5** & Ross and Wallace/**H**

Posh Pet Cottage/**R5**

Holly Gardens Phase 1/**R5** (across S. Holly St)

RR Tracks

### **ADDITIONAL INFORMATION:**

**9/7/2006:** Planning Commission approved preliminary subdivision for Covington Gardens Phase 2

**9/19/2006:** City Council approved preliminary subdivision for Covington Gardens Phase 2 with a resolution.

**9/16/2011:** City Planner notified the owner the preliminary approval has expired according to **Subdivision Code Section 2.2** because lapse of final plan and no extension of time has been applied for within twelve months.

**4/4/2013:** Planning Commission tabled case pending additional information

**5/2/2013:** Planning Commission tabled case per applicants request, because still pending information

**6/6/2013:** Planning Commission voted to remove case until applicant has all pending conditions

**7/3/2013:** Not included on the July Agenda

**8/1/2013:** Planning Commission granted a waiver on construction of sidewalks

Homeowners Association for Holly Gardens Phase 1 and 3 was filed and includes this Phase 2 being a private subdivision; this will have to be revised to reflect the changes to public from private in Phase 2.

This phase will be dedicated to the public.

### **PUBLIC HEARING:**

**For:** None

**Against:** None

### **PLANNING COMMISSION RECOMMENDATION:**

**Motion:** Stanley Young recommended approval to begin construction on Holly Gardens Phase 2 in accordance with survey by Dennis L. Gowin and construction plans by Kiley Fellom Bates; and to grant the waiver for the construction of sidewalks.

**For:** William Travis, Ralph Ross, Sam McClugage, Jimmy Meyer

**Against:** None

**Absent:** None

**RESOLUTION TO READ:**

**WHEREAS**, the Planning Commission voted on Case#SDF2013-3-2 on August 1, 2013 to grant the requested waiver for the construction of sidewalks and to approve the survey by Dennis L. Gowin and construction plans by Kiley Fellom Bates; and

**WHEREAS**, the Planning Commission has forward Holly Gardens Phase 2 to the Hammond City Council for preliminary approval and notice to proceed with construction of infrastructure improvements.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of Hammond, Louisiana hereby grants preliminary subdivision approval and notice to proceed with construction of infrastructure improvements for Holly Gardens Phase 2 in accordance with survey by Dennis L. Gowin and Kiley Fellom Bates.

**From: Josh Taylor, City Planner** \_\_\_\_\_

SUBDIVISION APPROVAL & LAND DEVELOPMENT APPLICATION  
CITY OF HAMMOND

FILING DATE: 3/21/2013

PERMIT# SDF 2013-3-2

The next Planning Commission Meeting will be held on 4-4-2013, at 5:00pm in the City Council Chambers, 312 E. Charles Street. Application to be submitted to Zoning Board must meet the 21 day deadline for the next meeting.

☐ Check here if development is a MINOR SUBDIVISION ☐ Check here if development is a MAJOR SUBDIVISION  
☐ Check here if development is an ADMINISTRATIVE SUBDIVISION

PARCEL # 2766641077.00 (Please verify address w/City of Hammond GIS Dept.)

2766641078.00  
SITE LOCATION OR LEGAL DESCRIPTION: 1406 S. Holly St. # 1508 S. Holly St

Where did you get this address? ☐ Post Office ☒ City Building Dept. ☐ 911 Office ☐ Other \_\_\_\_\_

List all current property owners:

PROPERTY OWNER: Maurin I, L.L.C. PHONE(\_\_\_\_)

ADDRESS: P. O. Box 2607 Hammond LA 70404  
Street or PO Box City State Zip

(List additional PARCEL ADDRESS & PROPERTY OWNER information on reverse side of application.)

APPLICANT/DEVELOPER: Darryl Smith  
First Name MI Last Name

COMPANY NAME: Maurin I, L.L.C. ☒ Owner ☐ Contractor ☐ Other

Applicant Mailing Address: P. O. Box 2607 Hammond LA 70404  
Street or PO Box City State Zip

Applicant Telephone: (985) 542-4021 Applicant Fax: (\_\_\_\_)

PERMIT INFO-Additional Check if you will be applying for: ☐ ANNEXATION ☐ REZONING ☐ VARIANCE

# of Acres: 12.89 # of Proposed Lots: 41

NAME OF DEVELOPMENT: Holly Gardens Phase 2

EXISTING ZONING: AL B1 B2 C1 C2 C3 C4 C4A H I L R4 ☒ R5 R5S R8 R11 RA RP RS S

CURRENT USE OF LAND: Vacant

INTENDED USE OF LAND:  
☐ Single Family Residential ☐ Condominium/Townhouse ☐ Multi-Family ☐ Commercial  
☐ Industrial ☐ Other (explain) \_\_\_\_\_

DESIGN ENGINEER/ARCHITECT Spangler Engineering, LLC PHONE (985) 542-8665

Will ☐ PROCEDURE "A" (with bond) OR ☐ PROCEDURE "B" (without bond) BE USED?

ATTENTION: APPLICANT

NOTE: Six (6) copies of the complete plans and specifications and seven (7) additional copies of any property plat containing information pertaining to the attached check list shall be made part and submitted with the application for preliminary review.

ALL INFORMATION ON THIS APPLICATION MUST BE COMPLETE AND ALL FEES PAID BEFORE THIS APPLICATION WILL BE ACCEPTED ON THE AGENDA FOR THE CITY OF HAMMOND PLANNING & ZONING COMMISSION.

x [Signature]  
APPLICANT SIGNATURE

2-6-13  
DATE

x \_\_\_\_\_  
OWNER SIGNATURE

\_\_\_\_\_  
DATE

x \_\_\_\_\_  
CITY PLANNER

\_\_\_\_\_  
DATE

\*\*\*\*\* OFFICIAL USE \*\*\*\*\*  
Fees for Preliminary and Final Review: \$ 300.00 + \$5.00 for Each Lot or Building = TOTAL DUE \$ 505.00  
[Fees for Minor Subd. Review:] \$50.00 + \$3.00 for each lot or building = TOTAL DUE \$ \_\_\_\_\_  
\*\*\*\*\*

AMOUNT PAID: \$ 505 CHECK# 22898 PAID CASH

DATE PAID 3/21/2013

AMOUNT PAID: \$ \_\_\_\_\_ CHECK# \_\_\_\_\_ PAID CASH

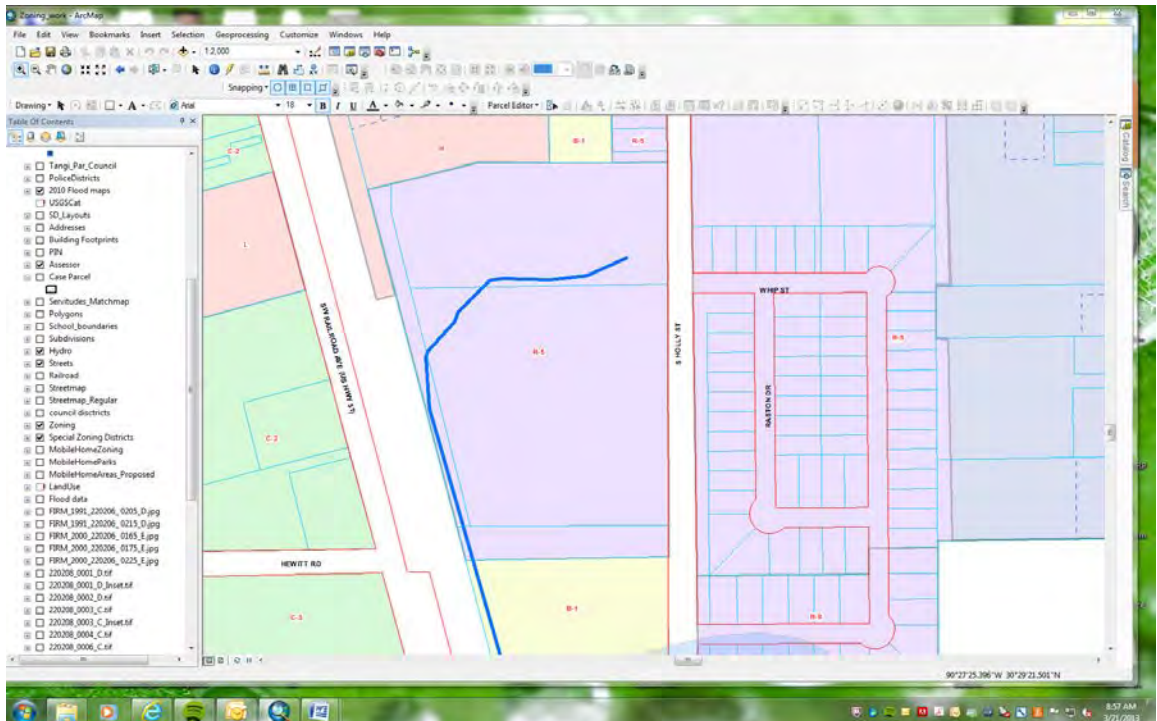
DATE PAID / /

# PROPERTY INFORMATION SHEET

<input type="checkbox"/>	Type of Permit	<b>SDF</b>	<input type="checkbox"/>	Date:	<b>03/21/2013</b>
<input type="checkbox"/>	Permit/Case #	<b>SDF2013-3-2</b>			
<input type="checkbox"/>	Parcel #	<b>2766641077.00; 2766641078.00</b>			
<input type="checkbox"/>	Address	<b>1406 S. Holly St.; 1508 S. Holly St</b>			
<input type="checkbox"/>	Owner	<b>Maurin I, LLC</b>			
<input type="checkbox"/>	Assessment #	<b>01276506; 01276603</b>			
<input type="checkbox"/>	Zoning	<b>R5</b>			
<input type="checkbox"/>	Overlay District	<b>NONE</b>			
<input type="checkbox"/>	Flood Zone	<b>X</b>			
<input type="checkbox"/>	Flood Way	<b>NO</b>			
<input type="checkbox"/>	Holds/Taxes	<b>NONE/NONE</b>			
<input type="checkbox"/>	Bldg Tax Value	(x 10% Res/15% Cml)	<b>50% =</b>		

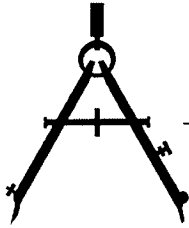
(Renovations/additions 50% or more of the bldg value for properties in a flood zone-see regulations)

Screen  
Print



Preparer Initials \_\_\_\_\_

Reviewer Initials \_\_\_\_\_



## Spangler Engineering, LLC

CONSULTING CIVIL ENGINEERS

T. C. Spangler, Jr., P.E.

Kiley F. Bates, P.E.

Webb M. Anderson, E.I.

July 10, 2013

Mr. Josh Taylor, City Planner  
City of Hammond  
P. O. Box 2788  
Hammond, Louisiana 70404

RE: Holly Gardens – Phase II

Dear Mr. Taylor:

This letter serves as notice that to the best of my knowledge and belief, the construction cost estimate in above-referenced subdivision is approximately \$500,000.00 as stated by owner.

If there are any comments or questions, please contact me.

Sincerely,

Kiley F. Bates, P.E.

cc: Mr. Darryl Smith, Maurin I, LLC

# WASHINGTON STATE BANK

*The Oldest Chartered Bank In St. Landry Parish, Est. 1893*

P. O. Box 129 • 103 North Main • Washington, LA 70589

Phone (337) 826-3641 • Fax (337) 826-5242

www.washingtonstatebankla.com

July 8, 2013

## IRREVOCABLE STANDBY LETTER OF CREDIT NO. 004-13

**LETTER OF CREDIT AMOUNT: USD \$50,000.00**

**ISSUE DATE: JULY 8, 2013**

**EXPIRE DATE: JULY 8, 2014**

**BENEFICIARY:**

**CITY OF HAMMOND**

**P.O. BOX 2788**

**HAMMOND, LA 70404-2788**

**APPLICANT:**

**HOLLY GARDENS, PHASE II**

**OWNED BY MAURIN I, LLC**

**109 S. CATE ST.**

**HAMMOND, LA 70403**

At the request of Holly Gardens, Phase II, owned by Maurin I, LLC, we, Washington State Bank, P.O. Box 129, Washington, La. 70589, hereby establish in your favor this irrevocable standby letter of credit No. 004-13 in the amount of \$50,000.00 effective immediately and expiring at our office with our close of business at 2:00PM on July 8, 2014.

We hereby issue this standby letter of credit in your favor and undertake with you and bona fide holders that draft(s) drawn under and in compliance with the terms of the credit will be honored upon due presentation on or before expiry. Funds under this letter of credit will be made available to you by payment against presentation of your draft(s) at sight drawn on Washington State Bank, bearing the clause "Drawn under Washington State Bank Letter of Credit No. 004-13", dated July 8, 2013, accompanied by the following beneficiary's signed certificate stating:

"I, an authorized officer of the City of Hammond with respect to Washington State Bank irrevocable Letter of Credit No. 004-13, hereby certify that:

The amount of this drawing is due and owing and remains unpaid (beyond the time allowed for such payment, including following any related notice or grace periods or both under said agreements)."

Partial drawing(s) are permitted hereunder. Drawing(s) hereunder honored by us shall not, in the aggregate, exceed the stated amount. Each drawing honored by us hereunder shall pro tanto reduce the state amount, it being understood that after the effectiveness of any such reduction you shall no longer have any right to make a drawing hereunder in respect of the amount causing or corresponding to such reduction.

**Opelousas Branch**

P. O. Box 1727  
1810 South Union Street  
Opelousas, LA 70570  
(337) 948-4544  
Fax: (337) 942-7434

**Arnaudville Branch**

P. O. Box 160  
238 Union Street  
Arnaudville, LA 70512  
(337) 754-5121  
Fax: (337) 754-7063

**Leonville Branch**

P. O. Box 37  
3371 Oscar Rivette Street  
Leonville, LA 70551  
(337) 879-3070  
Fax: (337) 879-3072

**Palmetto Branch**

P. O. Box 143  
105 West Railroad Avenue  
Palmetto, LA 71358  
(337) 623-4244  
Fax: (337) 623-9991



This letter of credit sets forth in full our undertaking and such undertaking shall not in any way be modified, amended, amplified, or limited by reference to any document, instrument, or agreement referred to herein, and any such reference shall not be deemed to incorporate herein by reference any document, instrument, or agreement.

This credit is subject to the Uniform Customs and Practice for Documentary Credits (1993 revision), International Chamber of Commerce-Publication 500.

A handwritten signature in cursive script, reading "Susie Rowe", positioned above a horizontal line.

Susie Rowe  
Executive Vice-President  
Chief Financial Officer



**City of Hammond**  
**Water & Sewer Department**  
**Garry Knight, Superintendent**

**Mayson H. Foster**  
**Mayor**

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P.O. Box 2788 Hammond, LA 70704-2788 • PH (985) 277-5961 • FAX (985) 277-5958

Date: March 21, 2013

To: Josh Taylor, City Planner

From: Garry Knight, Superintendent Water and Sewer

Re: Holly Gardens Phase 2

I have reviewed the utilities for Holly Gardens Phase 2, and the areas I addressed in my February 13, 2013 letter have been address.

**Water**

**Sewer**

**Street Lights**

1. Lighting spacing need to reflect spacing requirements in lighting ordinance NO.04-3003,C.S. section 3,paragraph H
2. Light Standards details need to be shown on plans, which meet ordinance NO.04-3003,C.S. Section 3, Paragraph A-C
3. Note on plans that all conduit needs to be inspected before it is cover by City Electrical Inspector
4. All lighting wiring must be install in conduit as required in Ordinance NO. 04-3003, Section 3,paragraph D





**City of Hammond**  
**Street Department**  
**Robert Morgan, Superintendent**

**Mayson H. Foster**  
**Mayor**

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P.O. Box 2788 Hammond, LA 70704-2788 • PH (985) 277-5955 • FAX (985) 277-5958

Date: March 21, 2013

To: Tracie Schillace, Planner, GIS Tech

From: Robert Morgan, Street Superintendent

Re: Holly Garden Phase II

I have reviewed the drainage plans for Holly Garden Phase II. I have no issues with the drainage.

**From:** [Bill Bodin](#)  
**To:** [Tracie Schillace](#)  
**Subject:** RE: Holly Gardens Phase 2-review  
**Date:** Thursday, March 14, 2013 2:02:23 PM

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My original comments have been addressed. I have no further comments.  
Thank you  
Bill

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**From:** Tracie Schillace [mailto:schillace\_tc@hammond.org]  
**Sent:** Thursday, March 14, 2013 1:58 PM  
**To:** Bill Bodin  
**Cc:** Josh Taylor  
**Subject:** Holly Gardens Phase 2-review  
**Importance:** High

Mr. Bill,

I dropped off a new set of plans for Holly Gardens Phase 2 at lunch through your mail slot.  
Please let me know if all your previous comments have been addressed.

Tks

*Tracie Schillace* | Planner/GIS Tech  
Planning Department

City of Hammond



schillace\_tc@hammond.org / Direct 985.277.5652 / Fax 985.277.5638  
219 E. Robert St. / Hammond, LA 70401 / [www.hammond.org](http://www.hammond.org)

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# OFFER OF DEDICATION BY OWNER/DEVELOPER

I hereby irrevocably offer for dedication to the City of Hammond the ownership and use of all roads, easements, servitudes, rights of way, and required utilities as shown on this plat and plans by reference as approved on \_\_\_\_\_ (Date) by the Hammond Planning Commission as **AMENDED FINAL PLAT OF HOLLY GARDENS PHASE 2**.

Owner/Developer :  
Maurin I, LLC: \_\_\_\_\_ Date: \_\_\_\_\_  
Darryl Smith

## ACCEPTANCE OF CITY OF OFFER TO DEDICATE

The City of Hammond hereby accepts the dedication of roads, easements, servitudes, rights of way, parks and required utilities in **AMENDED FINAL PLAT OF HOLLY GARDENS PHASE 2**. This acceptance is subject to the city's final acceptance of construction.

Streets & Lighting \_\_\_\_\_ Date \_\_\_\_\_  
Water \_\_\_\_\_ Date \_\_\_\_\_  
Sewer \_\_\_\_\_ Date \_\_\_\_\_  
Drainage \_\_\_\_\_ Date \_\_\_\_\_  
Other \_\_\_\_\_ Date \_\_\_\_\_  
Council President \_\_\_\_\_ Date \_\_\_\_\_

## Recording Information:

Recordation COB \_\_\_\_\_ PAGE \_\_\_\_\_

Recorded By: \_\_\_\_\_ Date \_\_\_\_\_

## SIGNATURES OF ACCEPTANCE OF PLANNING COMMISSION APPROVED FINAL PLAT

OWNER/DEVELOPER: \_\_\_\_\_ Darryl Smith  
MAURIN I, LLC  
P.O. Box 2607  
Hammond, La. 70404

DESIGN ENGINEER: *[Signature]*  
Spangler, P.E.

REVIEW ENGINEER: \_\_\_\_\_

PERFORMANCE BOND ACCEPTANCE \_\_\_\_\_

## PLANNING COMMISSION CERTIFICATION

Procedure "A" with bond - Procedure "B" without bond.

Preliminary Plat approved \_\_\_\_\_ (Preliminary Plat Expired \_\_\_\_\_)

Approval of Final Plat and As-Built: \_\_\_\_\_ Official Submittal Date \_\_\_\_\_

The As-Built plan sheets numbered \_\_\_\_\_ thru \_\_\_\_\_ are hereby approved and by reference shall be part of the recorded plat.

Approval of Final Plat and As-Built by Planning Commission

Signature \_\_\_\_\_ Commission Chairman Date \_\_\_\_\_

Proof of performance bond; \_\_\_\_\_ Date Submitted and Approved \_\_\_\_\_ Not Applicable

## LEGEND

P.O.B. POINT OF BEGINNING  
● CORNER FOUND  
● 1/2" IRON ROD SET  
--- SERVITUDE LINE  
--- SETBACK LINE  
--- PROPERTY LINE  
--- RIGHT-OF-WAY LINE [PROPERTY LINE]

BENCH MARK:  
R.R. Spike in Power Pole SITE BENCH  
MARK = RR SPIKE IN POWER POLE ●  
NE CORNER OLD COVINGTON HIGHWAY  
& HOLLY STREET.  
ELEV. = 33.96'

## NOTES:

NAME OF DEVELOPMENT: AMENDED FINAL PLAT  
HOLLY GARDENS PHASE 2

NAME OF OWNER: MAURIN I, LLC

NAME OF DEVELOPER: MAURIN I, LLC

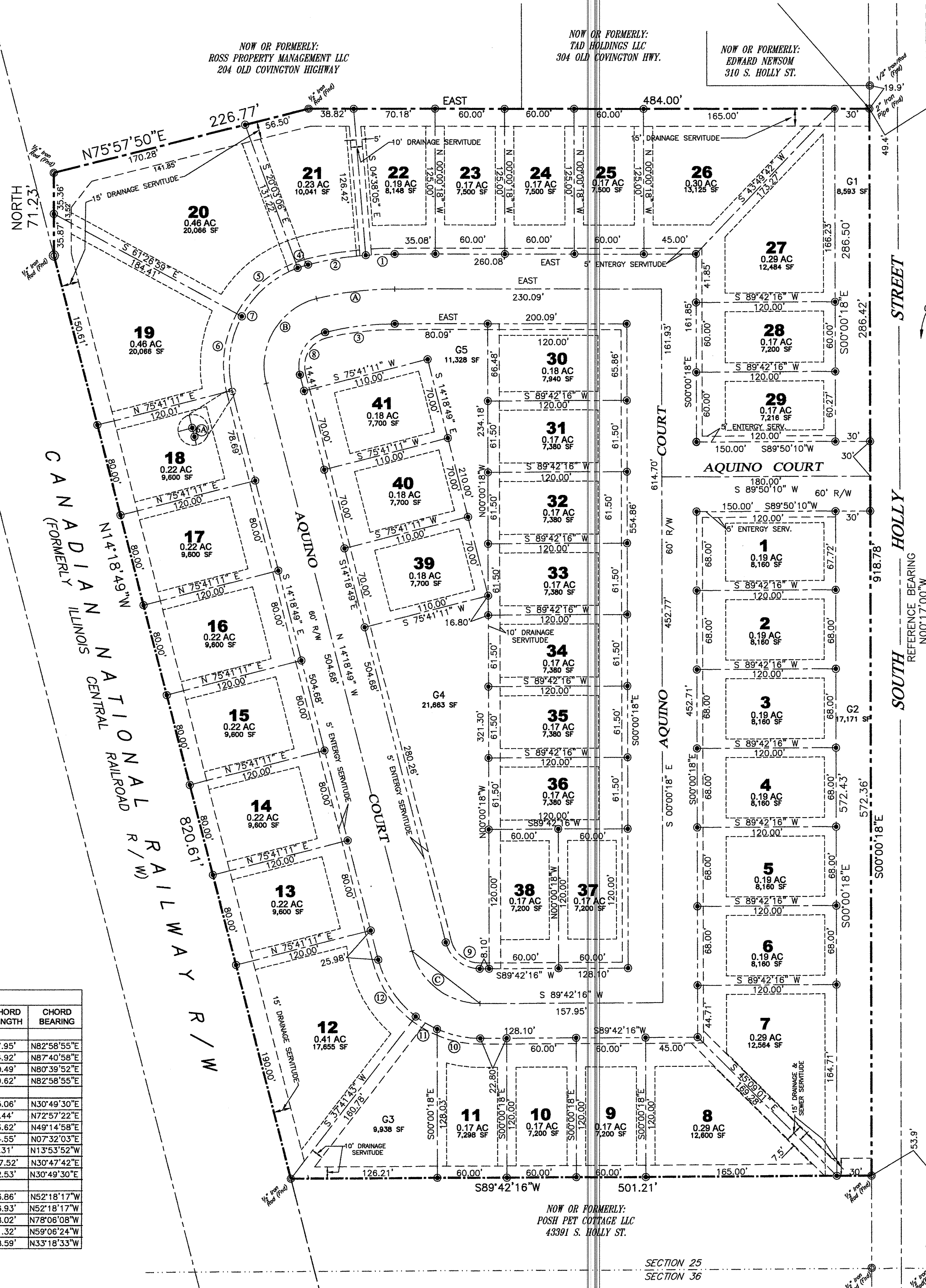
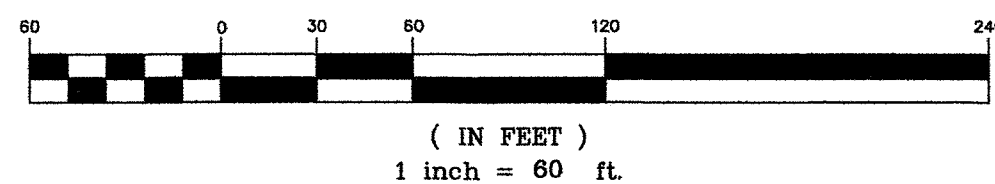
ADDRESS OF DEVELOPER: P.O. Box 2607  
Hammond, LA 70404

TOTAL NUMBER OF LOTS: 41  
COUNCIL DISTRICT: 2

ZONING: R-5 (EXISTING)

TOTAL ACREAGE OF DEVELOPMENT: 12.89  
FLOOD ZONE: X  
COMMUNITY PANEL NO.: 22105C0430F  
EFFECTIVE DATE: 7/22/2010

## GRAPHIC SCALE



# AMENDED FINAL PLAT of HOLLY GARDENS (FORMERLY COVINGTON GARDENS) PHASE 2, LOTS 1-41 (12.89 acre subdivision)

August 19, 2011

located in  
Sections 25, T 6 S, R 7 E  
City of Hammond, Tangipahoa Parish  
for  
**MAURIN I, LLC**

c/o Darryl Smith  
P.O. Box 2607  
Hammond, La. 70404

## ENTIRE PARCEL PHASE 2

THAT CERTAIN PIECE OR PARCEL OF LAND SITUATED IN SECTION 25, TOWNSHIP 6 SOUTH, RANGE 7 EAST, GREENSBURG LAND DISTRICT, CITY OF HAMMOND, TANGIPAHOA PARISH, LOUISIANA, AS SHOWN ON A SURVEY BY TURNER SURVEYS, LLC, JOB NO. 052175, DATED OCTOBER 7, 2005, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN EXISTING 2" IRON PIPE REPORTED TO BE THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF SOUTH HOLLY STREET AND THE NORTH LINE OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 25; THENCE S00°00'18"E ALONG SAID WEST RIGHT OF WAY LINE A DISTANCE OF 316.42 FEET TO THE POINT OF BEGINNING FOR THE CENTERLINE OF THE AQUINO COURT RIGHT OF WAY; THENCE S89°50'10"W A DISTANCE OF 180.00 FEET TO A POINT; THENCE S00°00'18"E A DISTANCE OF 452.77 FEET TO A POINT; THENCE S89°42'16"W A DISTANCE OF 157.95 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 79.57 FEET, SAID CURVE HAVING A RADIUS OF 60.00 FEET, AND A CHORD WITH A BEARING OF N52°18'17"W AND A LENGTH OF 73.86 FEET; THENCE N14°18'49"W A DISTANCE OF 504.68 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 94.54 FEET TO A POINT OF COMPOUND CURVATURE, SAID CURVE HAVING A RADIUS OF 60.00 FEET, AND A CHORD WITH A BEARING OF N30°49'30"E AND A LENGTH OF 42.53 FEET; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 68.12 FEET, SAID CURVE HAVING A RADIUS OF 278.07 FEET, AND A CHORD WITH A BEARING OF N82°58'55"E AND A LENGTH OF 67.95 FEET; THENCE EAST A DISTANCE OF 230.09 FEET TO A POINT; THENCE S00°00'18"E A DISTANCE OF 161.93 FEET TO THE POINT OF TERMINATION OF THE CENTERLINE FOR SAID AQUINO COURT RIGHT OF WAY.

THE ABOVE DESCRIBED PARCEL CONTAINS 12.886 ACRES AND IS SUBJECT TO ALL SERVITUDES AND RESTRICTIONS OF RECORD.

## DESCRIPTION OF AQUINO COURT 60' RIGHT OF WAY

THAT CERTAIN PIECE OR PARCEL OF LAND SITUATED IN SECTION 25, TOWNSHIP 6 SOUTH, RANGE 7 EAST, GREENSBURG LAND DISTRICT, CITY OF HAMMOND, TANGIPAHOA PARISH, LOUISIANA, BEING 30 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN EXISTING 2" IRON PIPE REPORTED TO BE THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF SOUTH HOLLY STREET AND THE NORTH LINE OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 25; THENCE S00°00'18"E ALONG SAID WEST RIGHT OF WAY LINE A DISTANCE OF 316.42 FEET TO THE POINT OF BEGINNING FOR THE CENTERLINE OF THE AQUINO COURT RIGHT OF WAY; THENCE S89°50'10"W A DISTANCE OF 180.00 FEET TO A POINT; THENCE S00°00'18"E A DISTANCE OF 452.77 FEET TO A POINT; THENCE S89°42'16"W A DISTANCE OF 157.95 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 79.57 FEET, SAID CURVE HAVING A RADIUS OF 60.00 FEET, AND A CHORD WITH A BEARING OF N52°18'17"W AND A LENGTH OF 73.86 FEET; THENCE N14°18'49"W A DISTANCE OF 504.68 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 94.54 FEET TO A POINT OF COMPOUND CURVATURE, SAID CURVE HAVING A RADIUS OF 60.00 FEET, AND A CHORD WITH A BEARING OF N30°49'30"E AND A LENGTH OF 42.53 FEET; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 68.12 FEET, SAID CURVE HAVING A RADIUS OF 278.07 FEET, AND A CHORD WITH A BEARING OF N82°58'55"E AND A LENGTH OF 67.95 FEET; THENCE EAST A DISTANCE OF 230.09 FEET TO A POINT; THENCE S00°00'18"E A DISTANCE OF 161.93 FEET TO THE POINT OF TERMINATION OF THE CENTERLINE FOR SAID AQUINO COURT RIGHT OF WAY.

THE ABOVE DESCRIBED PARCEL CONTAINS 2.62 ACRES AND IS SUBJECT TO ALL SERVITUDES AND RESTRICTIONS THAT MAY BE OF RECORD.

## SETBACKS

25' FRONT  
10' REAR  
8' SIDE, 10' STREET SIDE

## NOTES:

TOTAL AREA OF DEVELOPMENT = 561,322 SQ. FT.  
PROVIDED GREEN SPACE = 68,693 SQ. FT.

GREENSPACE LOTS LABELED AS (G1, G2, G3, G4 & G5) SHALL BE MAINTAINED BY THE HOLLY GARDENS HOME OWNERS ASSOCIATION.

THIS SUBDIVISION FORMERLY KNOWN AS COVINGTON GARDENS PHASE 2.

REFERENCE SURVEY: SURVEY TURNER SURVEYS, LLC, JOB NO. 052175, DATED OCTOBER 7, 2005.

## CERTIFICATION

I certify that this plat represents an actual ground survey made by me or under my direct supervision, and it does conform to the requirements for the Minimum Standards for Property Boundary Surveys as found in Louisiana Administrative Code TITLE 46: LXI, Chapter 25 for a Class "C" survey and is accordance with the provisions of LRS 33 et seq.

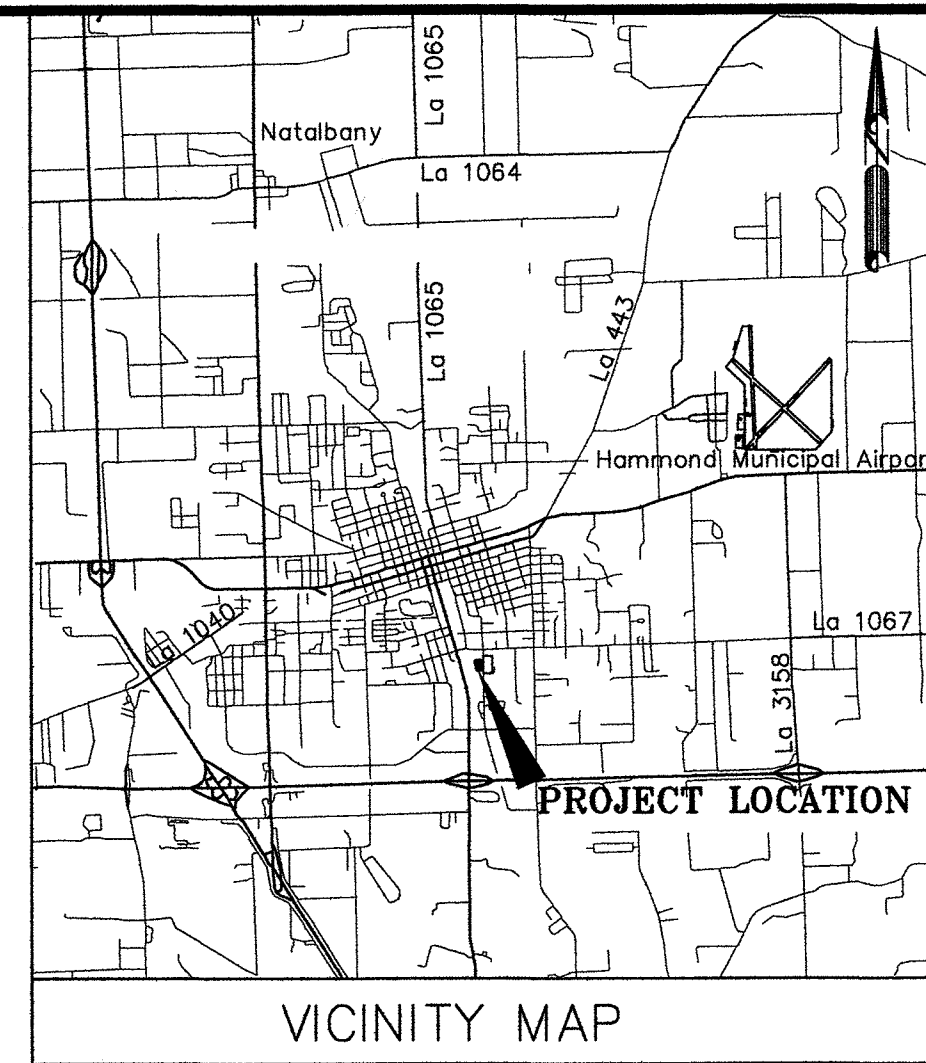
I hereby certify this legal description is true and correct and the plat is in accordance with the provisions of the Louisiana Revised Statutes governing same.

*[Signature]*  
DENNIS L. GOWIN P.L.S., LA. REG. NO. 4846

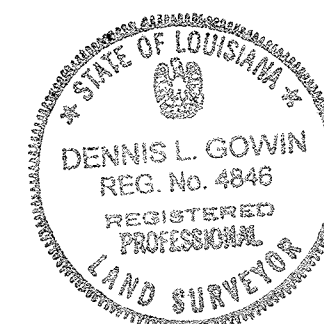
## TURNER SURVEYS, LLC

15732 E. HOFFMAN ROAD  
PONCHATOULA, LA. 70454  
PHONE: (985)386-2358  
FAX: (985)386-2359  
Turnersurveys@turnersurveys.net

*[Signature]*  
Design Engineer: Kiley Fellom Bates, P.E.  
P.O. Box 1374  
HAMMOND, LOUISIANA 70404  
(985) 542-8665 FAX: (985) 542-0046



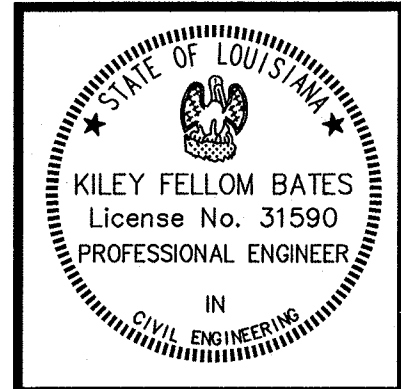
VICINITY MAP



SHEET

1





SCALE: AS SHOWN  
DATE: 8/24/06  
DRAWN: WC  
CHECKED: TCS  
REVISED: 9-14-2006  
2/4/2013

## TYPICAL SECTIONS

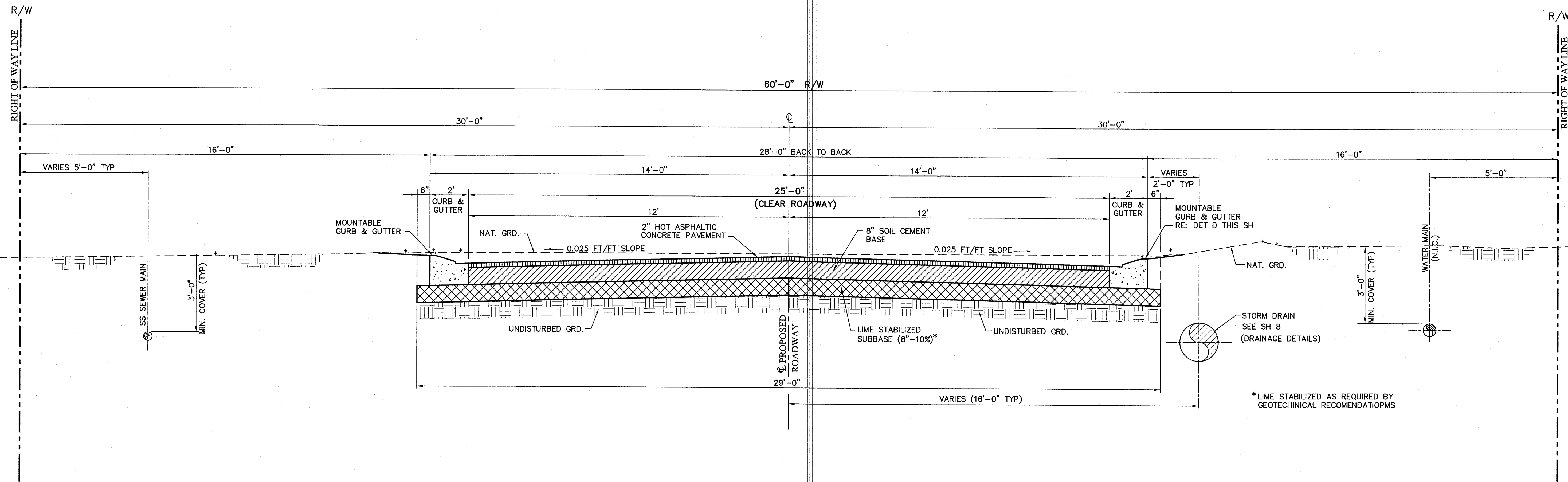
HOLLY GARDENS  
PHASE 2  
FOR  
MAURIN I, LLC  
HAMMOND, LA

Spangler Engineering, LLC

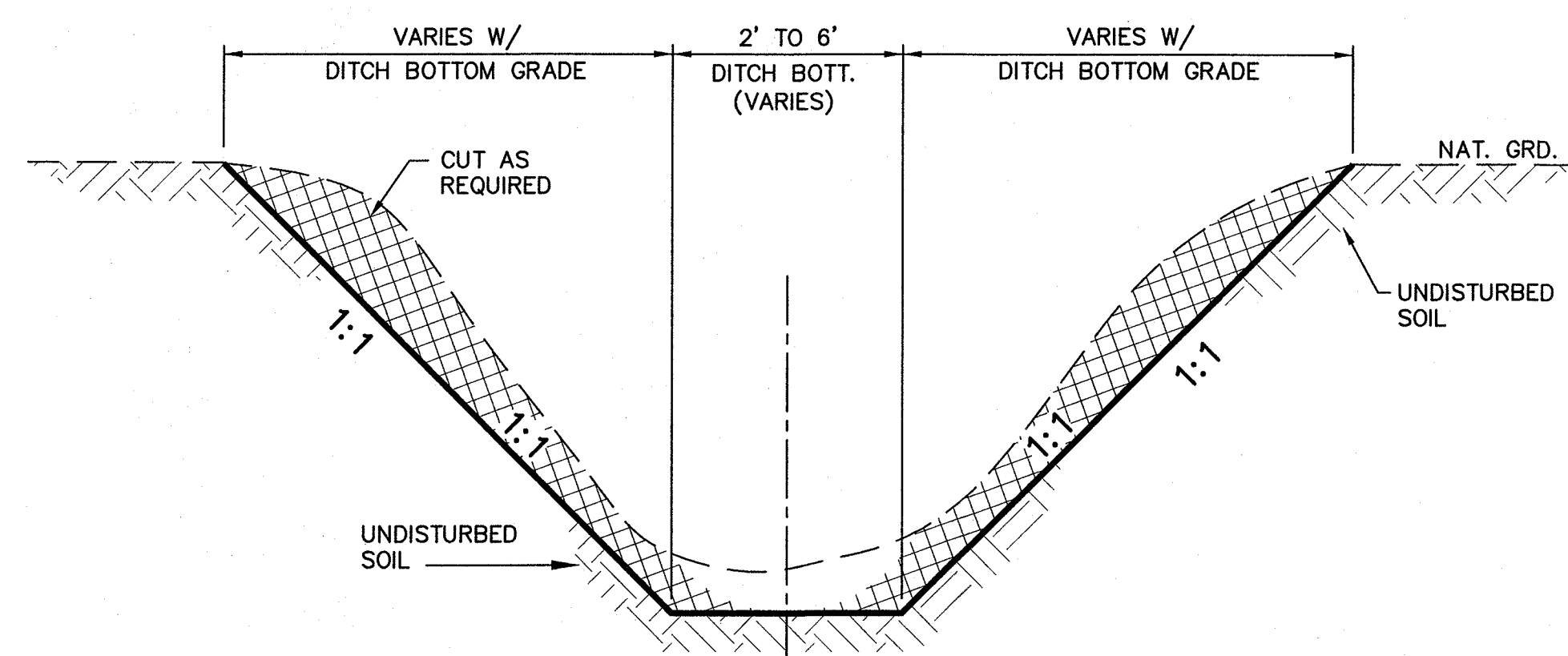
CONSULTING CIVIL ENGINEERS  
214 S.W. RAILROAD AVENUE  
P.O. BOX 1374  
HAMMOND, LOUISIANA 70404  
(985) 542-8665 FAX: (985) 542-0046

SHEET

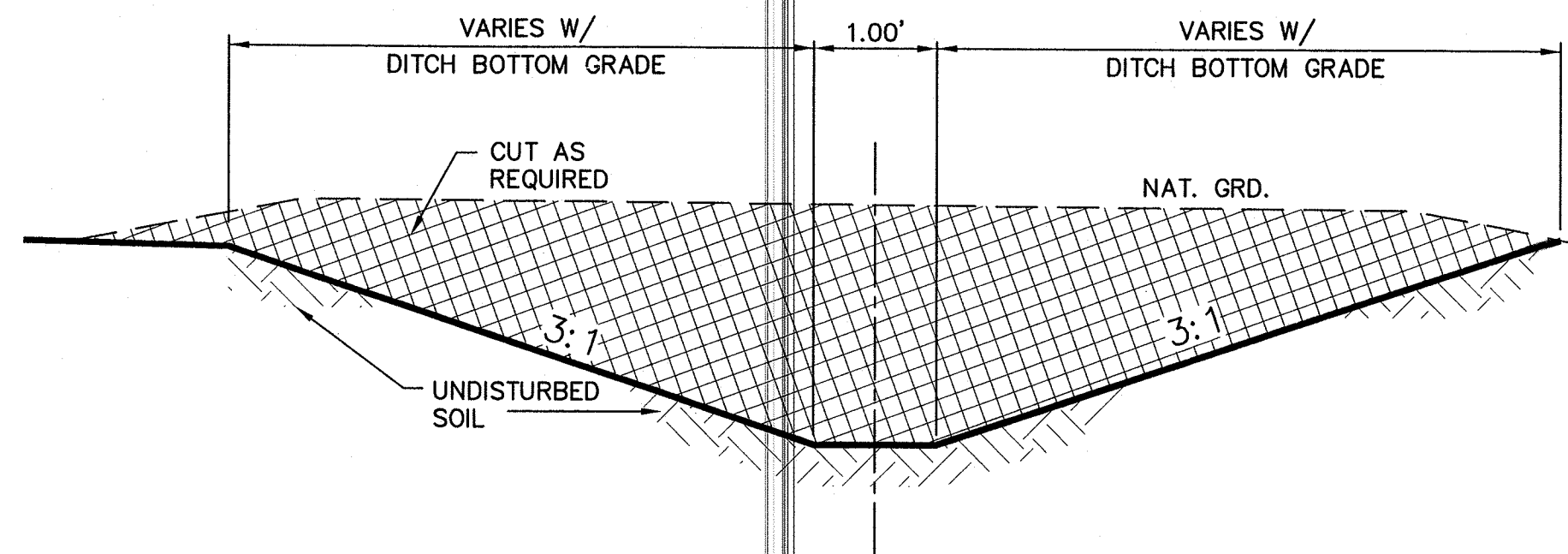
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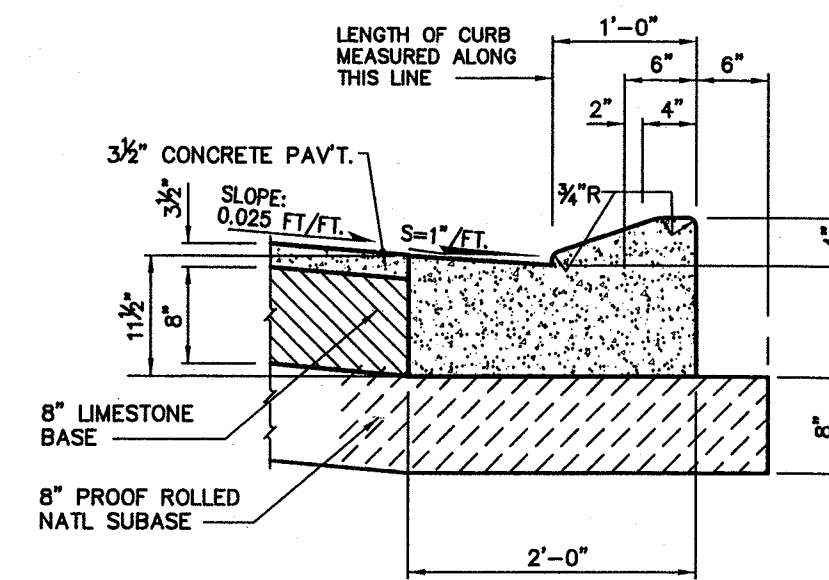
A TYPICAL ROADWAY SECTION  
HORIZONTAL SCALE: 1" = 10'  
(VERTICAL SCALE: 1" = 2')



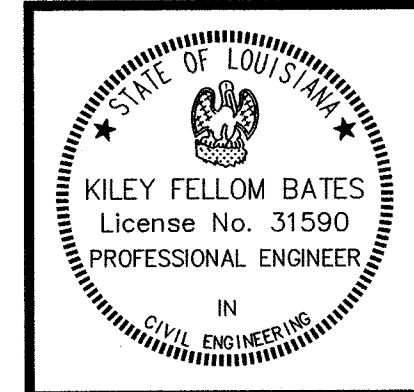
B TYPICAL TYPE II DITCH  
(OUTFALL)  
N.T.S.  
[BID ITEM "15.1"]



C TYPICAL TYPE I DITCH  
(RT. ROADSIDE DITCH SHOWN)  
(LEFT SIDE-MIRROR IMAGE)  
N.T.S.  
[BID ITEM "15.1"]



D TYPICAL CURB DETAIL  
(MOUNTABLE TYPE)  
SCALE: 1" = 1'-0"  
[BID ITEM "15.1"]

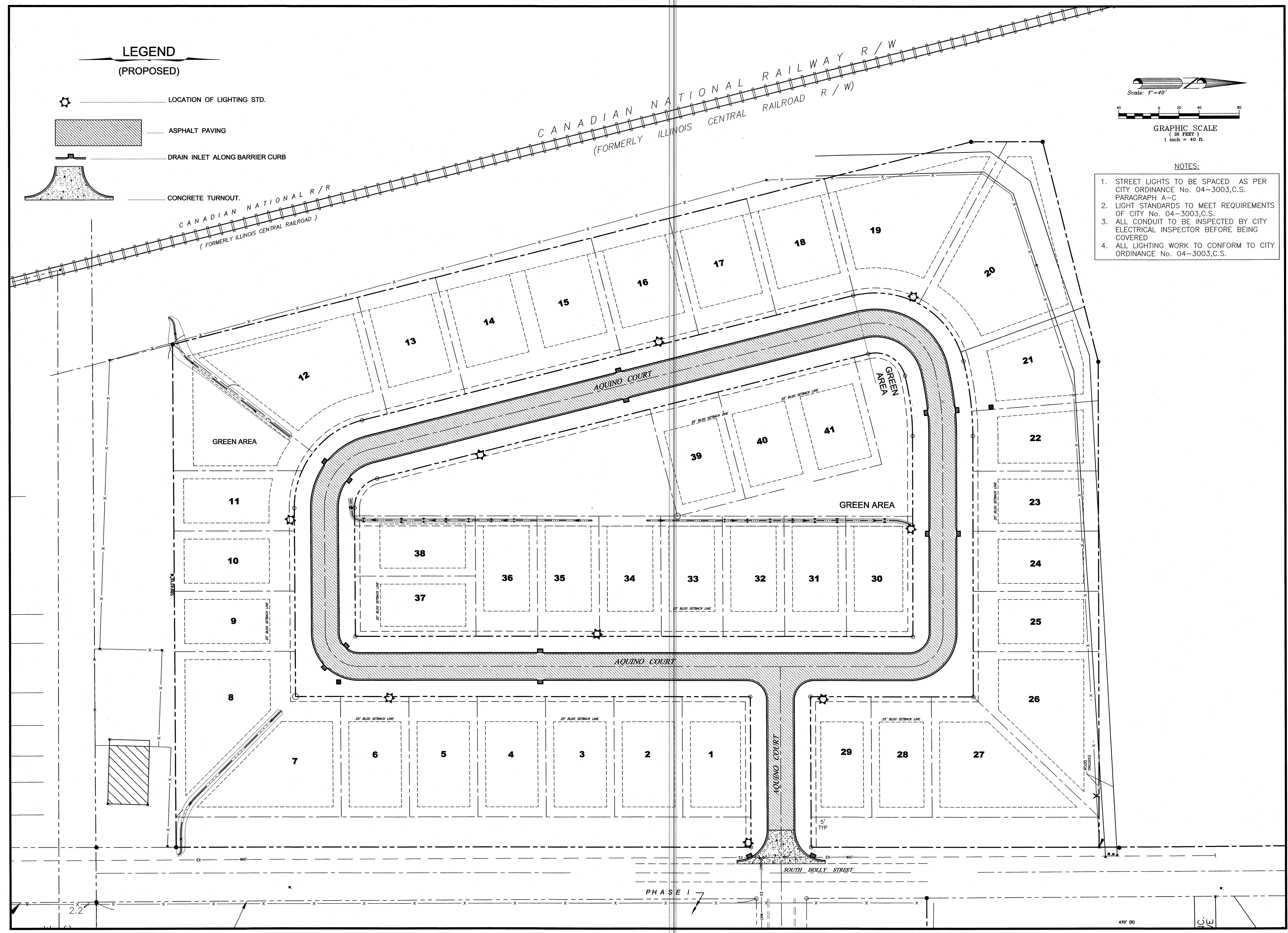


SCALE: 1"=40'
DATE: 9/19/2011
DRAWN: GWM/WC
CHECKED: KFB
REVISED:
2/4/2013
3/6/2013

PAVING AND  
LIGHTING LAYOUT

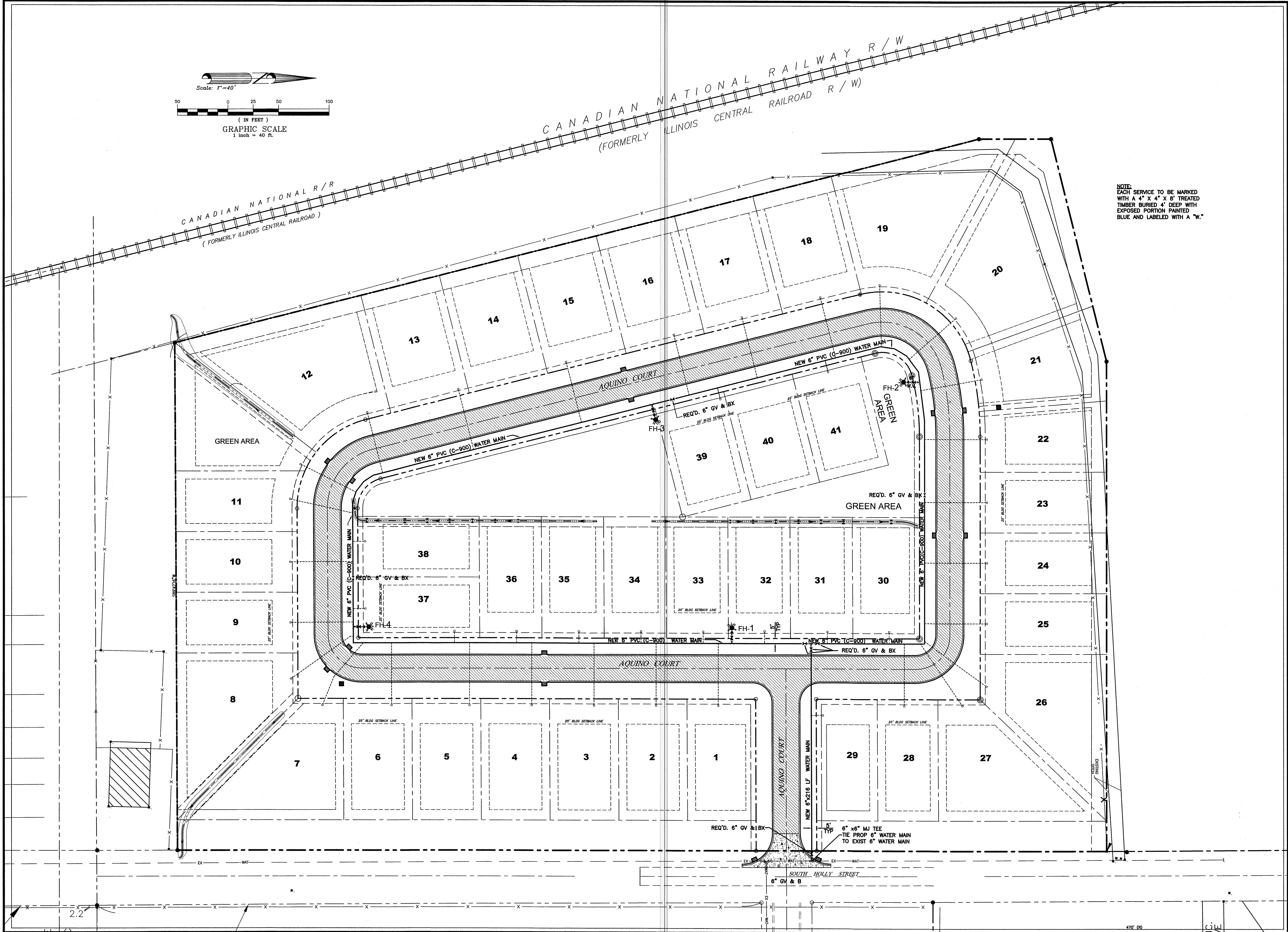
HOLLY GARDENS  
PHASE 2  
FOR  
MAURIN I, LLC  
HAMMOND, LA

Spangler Engineering, LLC  
CONSULTING CIVIL ENGINEERS  
214 S.W. RAILROAD AVENUE  
P.O. BOX 1374  
HAMMOND, LOUISIANA 70404  
(985) 542-8665 FAX: (985) 542-0046

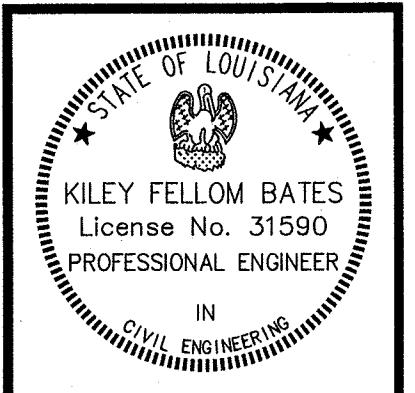


- NOTES:
1. STREET LIGHTS TO BE SPACED AS PER CITY ORDINANCE No. 04-3003,C.S. PARAGRAPH A-C
  2. LIGHT STANDARDS TO MEET REQUIREMENTS OF CITY No. 04-3003,C.S.
  3. ALL CONDUIT TO BE INSPECTED BY CITY ELECTRICAL INSPECTOR BEFORE BEING COVERED
  4. ALL LIGHTING WORK TO CONFORM TO CITY ORDINANCE No. 04-3003,C.S.





NOTE:  
EACH SERVICE TO BE MARKED  
WITH A 4" X 4" X 8' TREATED  
TIMBER BURIED 4' DEEP WITH  
EXPOSED PORTION PAINTED  
BLUE AND LABELED WITH A "W."



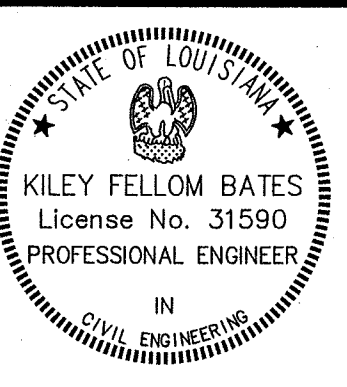
SCALE:	1"=40'
DATE:	9/19/2011
DRAWN:	WC/GWM
CHECKED:	KFB
REVISED:	
	2/4/2013
	3/6/2013

# WATER LAYOUT

HOLLY GARDENS  
PHASE 2  
FOR  
MAURIN I, LLC  
HAMMOND, LA

**Spangler Engineering, LLC**  
CONSULTING CIVIL ENGINEERS  
214 S.W. RAILROAD AVENUE  
P.O. BOX 1374  
HAMMOND, LOUISIANA 70404  
(985) 542-8665 FAX: (985) 542-0046





SCALE: 1"=40'
DATE: 9/19/2011
DRAWN: GWM/WC
CHECKED: KFB
REVISED:
2/4/2013
3/6/2013

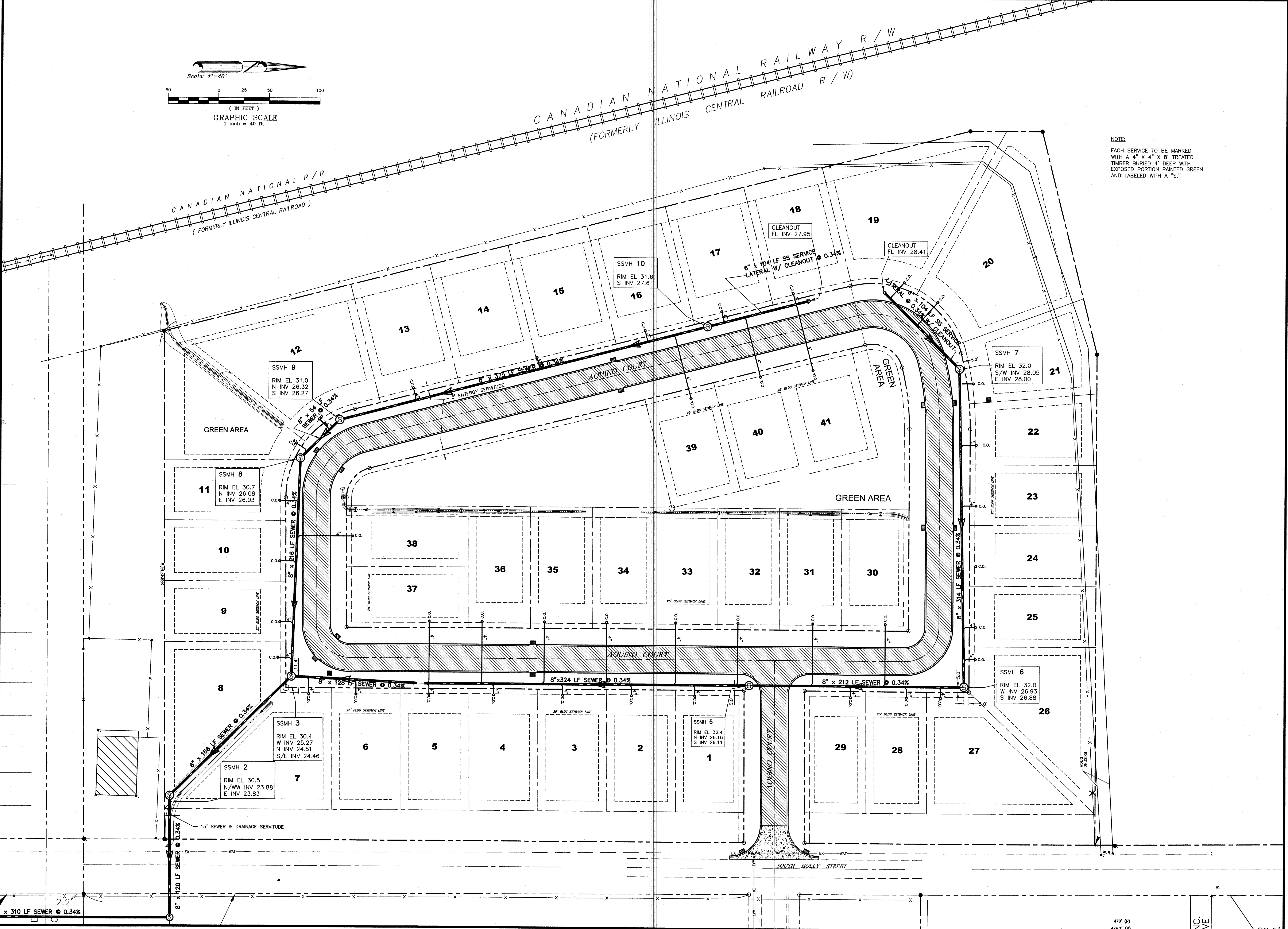
SEWER LAYOUT

HOLLY GARDENS  
PHASE 2  
FOR  
MAURIN I, LLC  
HAMMOND, LA

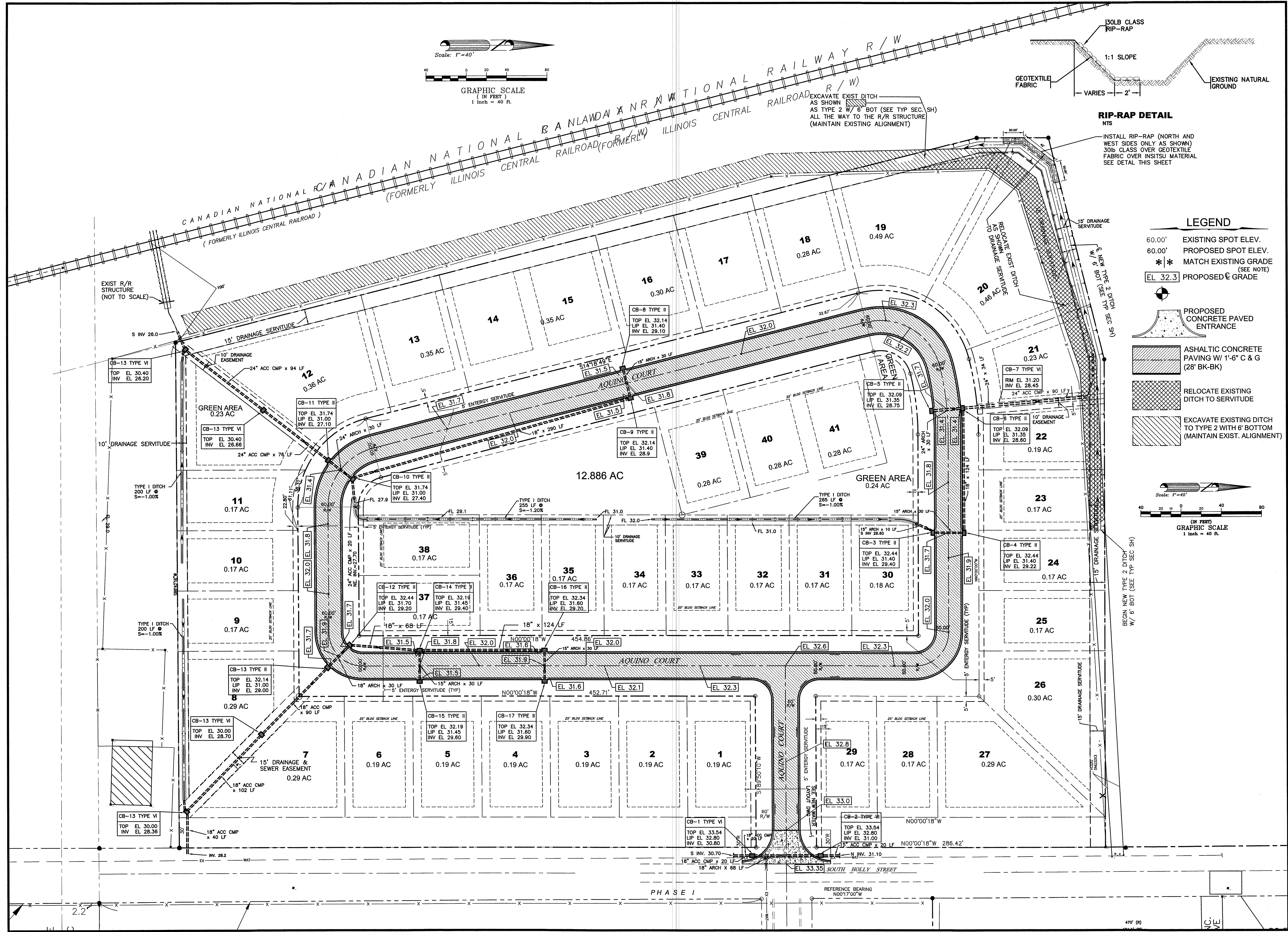
Spangler Engineering, LLC  
CONSULTING CIVIL ENGINEERS  
214 S.W. RAILROAD AVENUE  
P.O. BOX 1374  
HAMMOND, LOUISIANA 70404  
(985) 542-8665 FAX: (985) 542-0046

SHEET

5









GRIND OFF PROTRUSIONS TO  
SMOOTH EXPOSED EDGE (TYPICAL).

VARIES (4' TO 6")  
SIDEWALK WIDTH

PLAN

VARIES

FINISH SIDEWALK GRADE

SHOULDER/GUTTER LINE

THK. P.C. CONC.  $\frac{5}{8}$ "

6"

EXISTING CATCH BASIN

VARIES (4" - 8")

SEE INSET (LEFT)

PROFILE

\* ON A.C. LINES, M.J. SLEEVES WILL BE REQUIRED ON EACH END OF THE OFF-SET. ON PVC, C.I., & D.I. LINES ONE MJ SLEEVE MAY BE USED WITH THE 45° BEND INSTALLED OVER EXISTING PIPE ON THE OPPOSITE END.

**H** OFF-SET WATER LINE  
N.T.S.

**A** TOP SECTIONAL VIEW, TYPE II  
N.T.S.

**(F) CATCH BASIN DETAIL, TYPE II, III,  
IV, V, VI VII, VIII, IX, & X )**

PAY AS BID ITEM " - "  
N.T.S.

**(B) REAR SECTIONAL VIEW (TYPE II C.B.)**


Isometric view of a rectangular fireproof safe. The safe has a mesh door and a handle. Dimensions are indicated: 2'-6 1/2" (length), 1'-11 1/2" (width), 11'-1/2" (height), 4'-7" (length), 4'-7 1/4" (width), 3'-0" (height), 1'-0" (width), 1'-0" (height), 9" (width), and 6" (height). The text "N.T.S." is present.

Figure 1: Detail of a reinforced concrete wall and floor slab. The diagram shows a cross-section of a wall with a floor slab on top. The wall has a thickness of 11 1/2 inches. The floor slab has a thickness of 3 inches. The wall is reinforced with 6 1/2 inch diameter bars at 5 feet on center for 15 inch diameter pipes, 7 1/2 inch diameter bars at 6 1/2 feet on center for 30 inch pipes, 8 1/2 inch diameter bars at 6 feet on center for 42 inch pipes, and 6 inch diameter bars at 6 feet on center for 48 inch pipes. The wall is also reinforced with 1 1/2 inch diameter bars at 7 1/2 feet on center. The wall has a minimum height of 6 inches. The floor slab has a minimum height of 3 inches. The wall is also reinforced with 1 1/2 inch diameter bars at 7 1/2 feet on center. The wall is also reinforced with 1 1/2 inch diameter bars at 7 1/2 feet on center. The wall is also reinforced with 1 1/2 inch diameter bars at 7 1/2 feet on center.

Isometric view of a concrete block with a circular opening on top and a rectangular opening on the front. The block is labeled with dimensions and construction details:

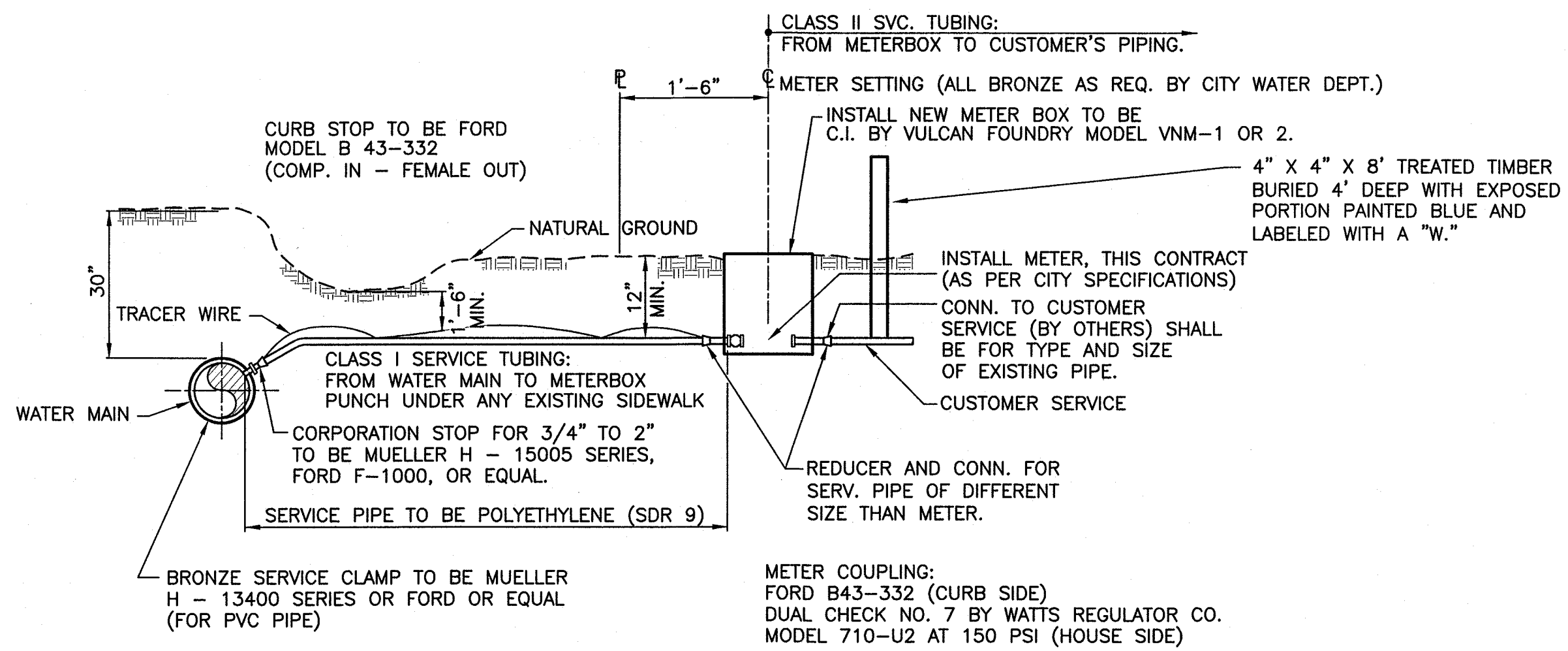
- Top opening: V-1810-4 (24")
- Top surface: STREET
- Front surface: YARD
- Front opening: STEEL LINTEL
- Front opening dimensions: 32" (width), 8" (height), 48" (depth)
- Front opening detail: NO MORTAR AT JOINT
- Front opening detail: FINISH GRADE

## I TYPE "S" CATCH BASIN

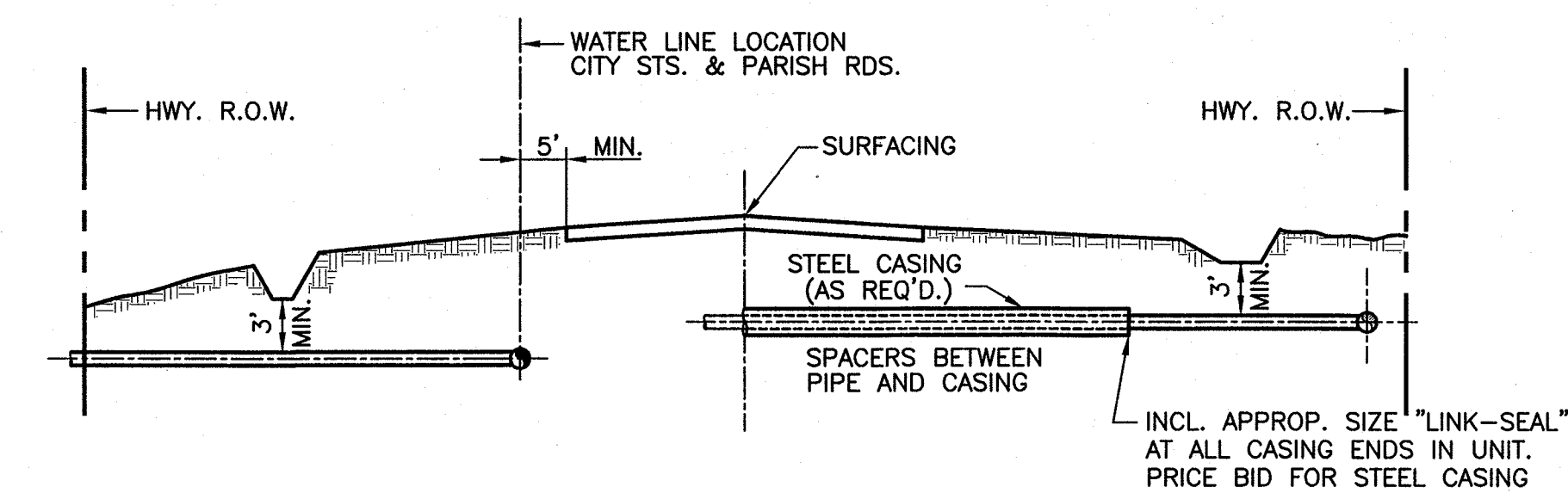
 **Spangler Engineering, LLC**  
CONSULTING CIVIL ENGINEERS  
214 S.W. RAILROAD AVENUE  
SUITE 100  
HAMMOND, LOUISIANA 70404  
(985) 542-8665 FAX: (985) 542-0046

MEET

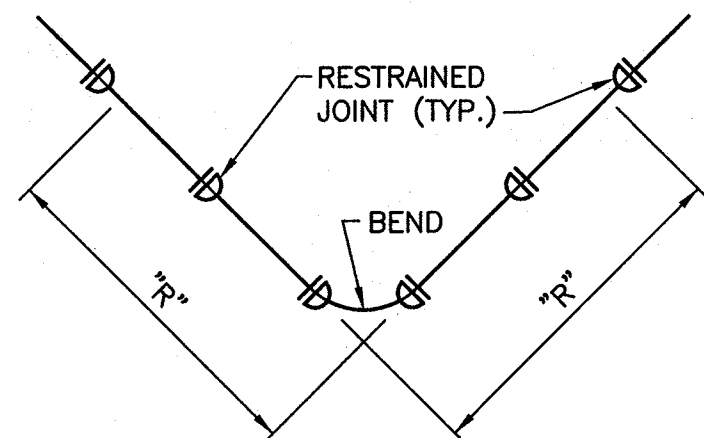
7



**A** TYPICAL SERVICE ASSEMBLY  
N.T.S.



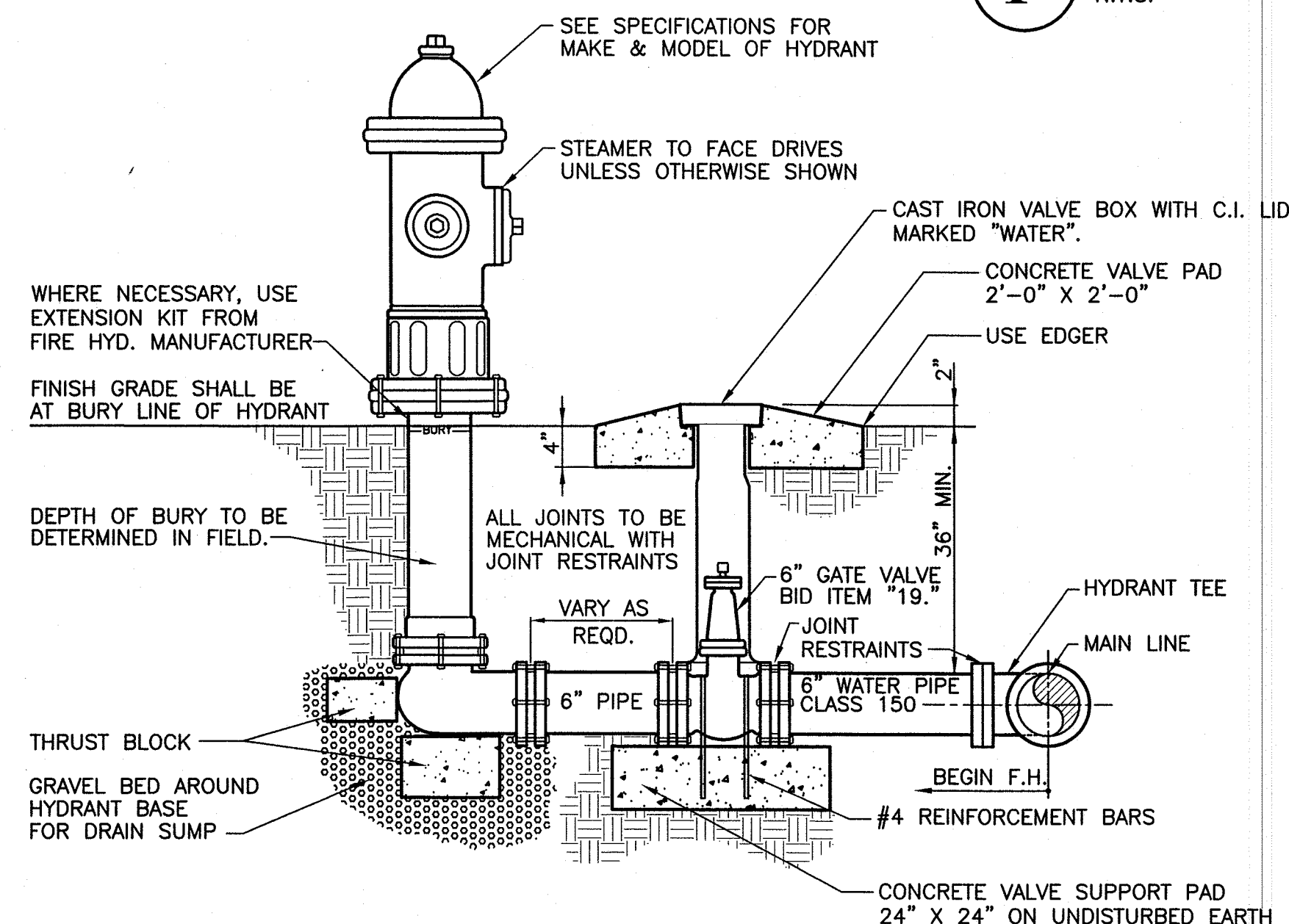
**D** STREET CROSSING DETAILS  
N.T.S.



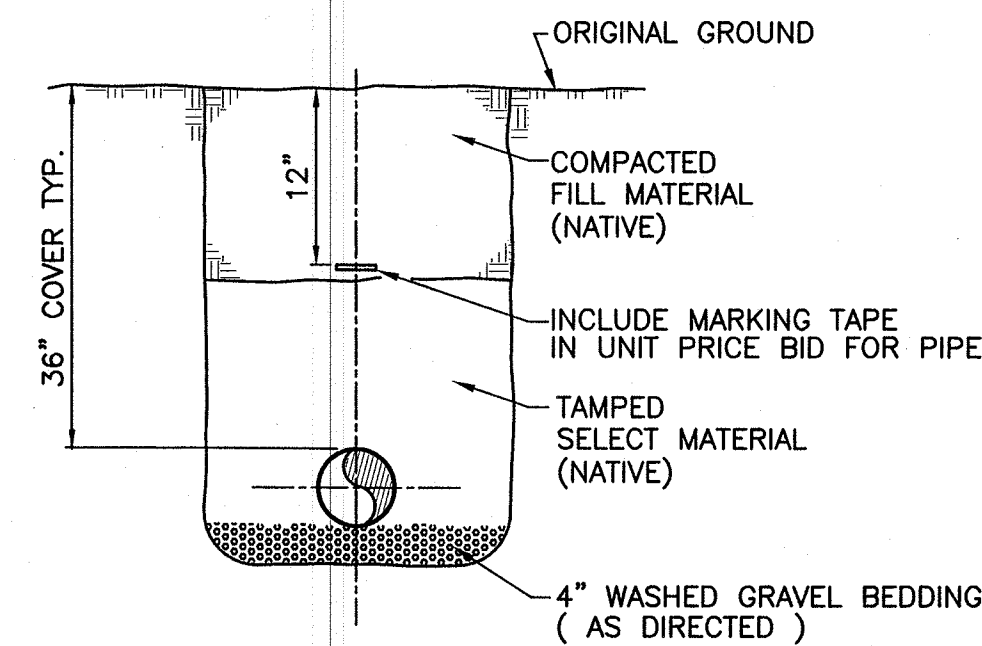
PIPE DIAMETER	"R" FOR 11 1/4" BEND	"R" FOR 22 1/2" BEND	"R" FOR 45" BEND	"R" FOR 90" BEND	"R" FOR TEE
4"	3	9	18	42	42
6"	4	12	24	59	59
8"	5	15	33	77	77
10"	6	18	36	81	81
12"	7	21	45	107	107
14"	8	24	54	135	135
16"	9	27	63	151	151
18"	10	30	72	174	174
20"	11	33	81	195	195
24"	13	39	99	234	234
30"	15	45	117	281	281
36"	17	51	135	324	324
42"	20	60	162	396	396
48"	21	63	174	423	423
54"	23	69	189	477	477

- NOTES:
- RESTRAINED JOINT PIPE SHALL BE USED AT ALL BENDS.
  - THE LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND SHALL BE NOT LESS THAN THE "R" DISTANCES GIVEN ABOVE.
  - THE FIRST JOINT OF THE PIPE BEYOND THE DISTANCE "R" ESTABLISHED ABOVE SHALL BE RESTRAINED ALONG WITH ALL JOINTS WITHIN THE DISTANCE "R".
  - INCREASE "R" DISTANCE BY A FACTOR OF 1.5 WHEN EITHER PVC OR POLYETHYLENE WRAPPED DUCTILE IRON PIPE IS USED.

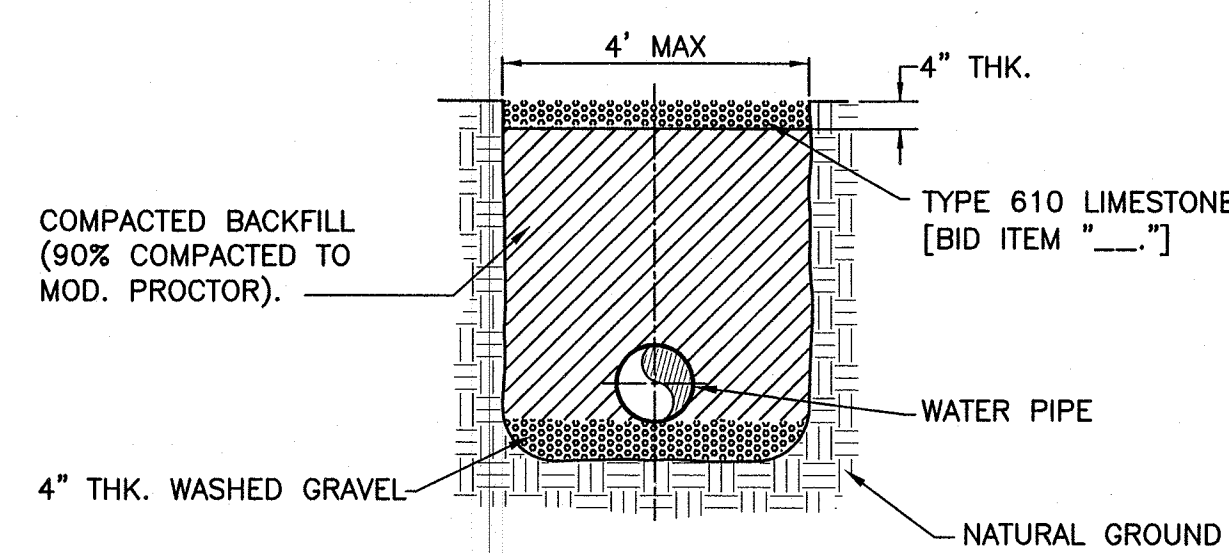
**I** RESTRAINED JOINT DETAIL  
( N.T.S. )



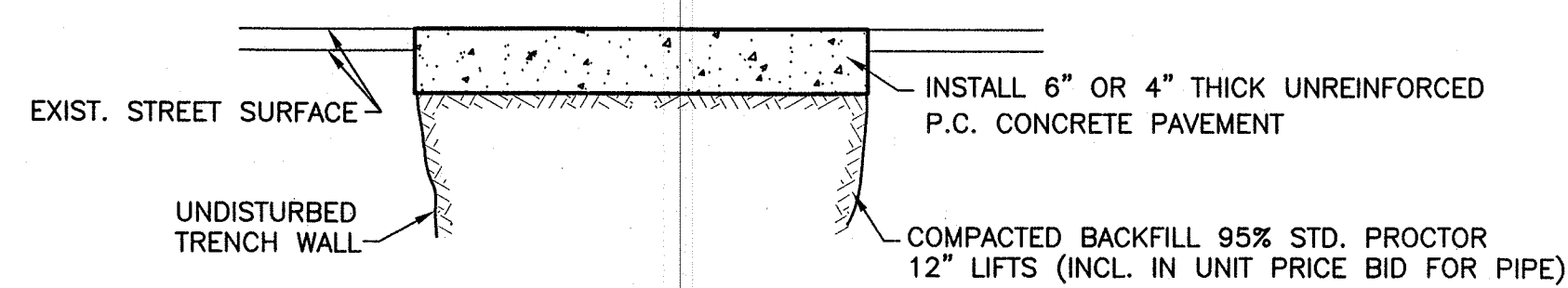
**J** FIRE HYDRANT ELEVATION  
( N.T.S. )



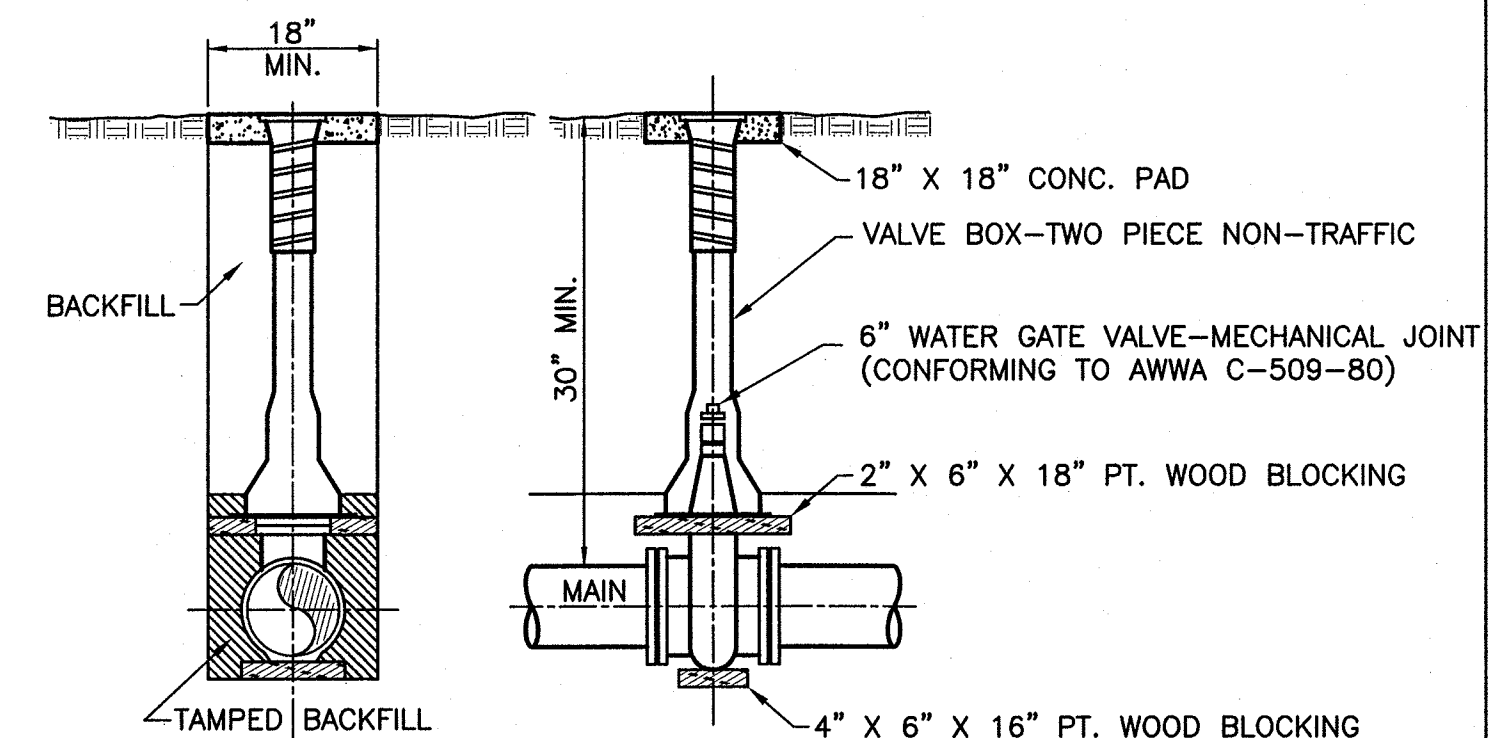
**B** TYPICAL TRENCH BEDDING & BACKFILL REQUIREMENTS FOR WATER PIPE  
N.T.S.



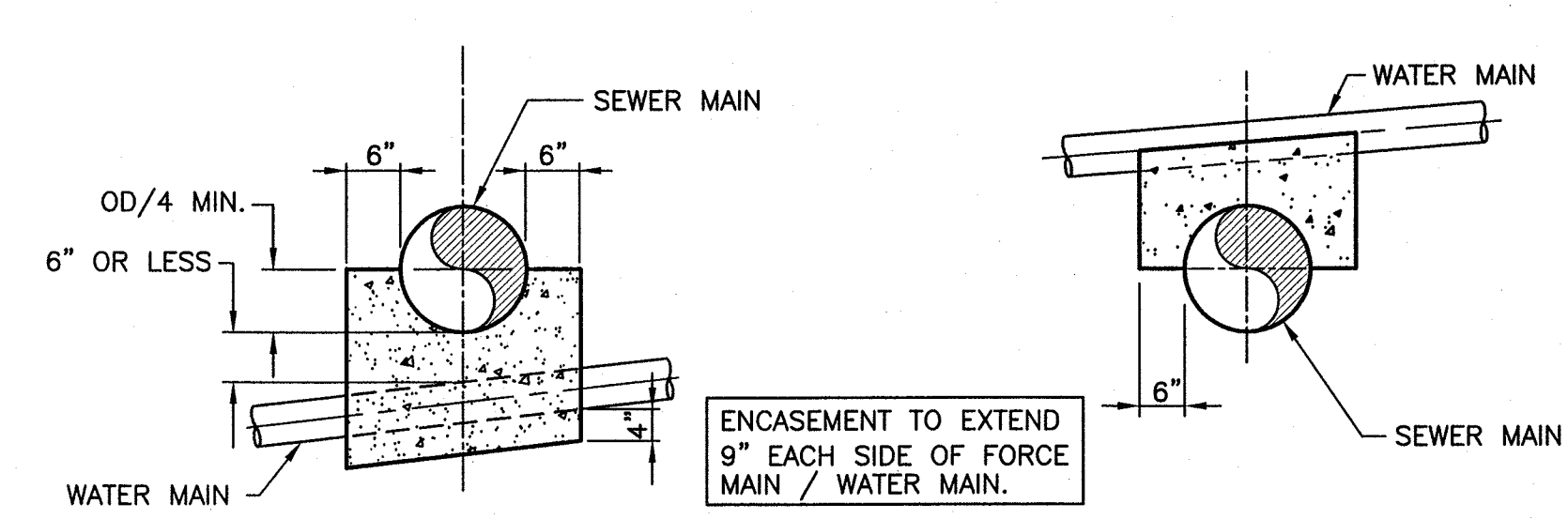
**E** REMOVE & REPLACE GRAVEL DRIVEWAY  
N.T.S.



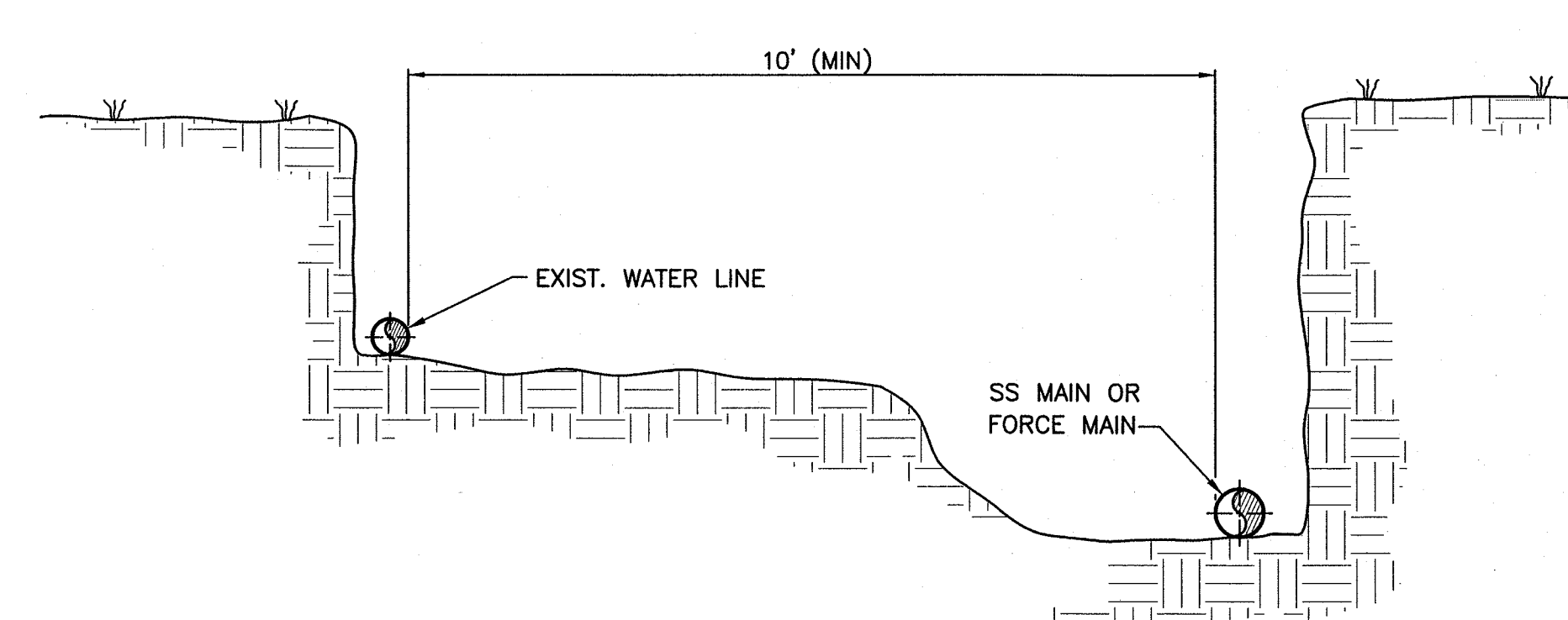
**F** UNREINFORCED CONCRETE - SPOT PATCH  
N.T.S.



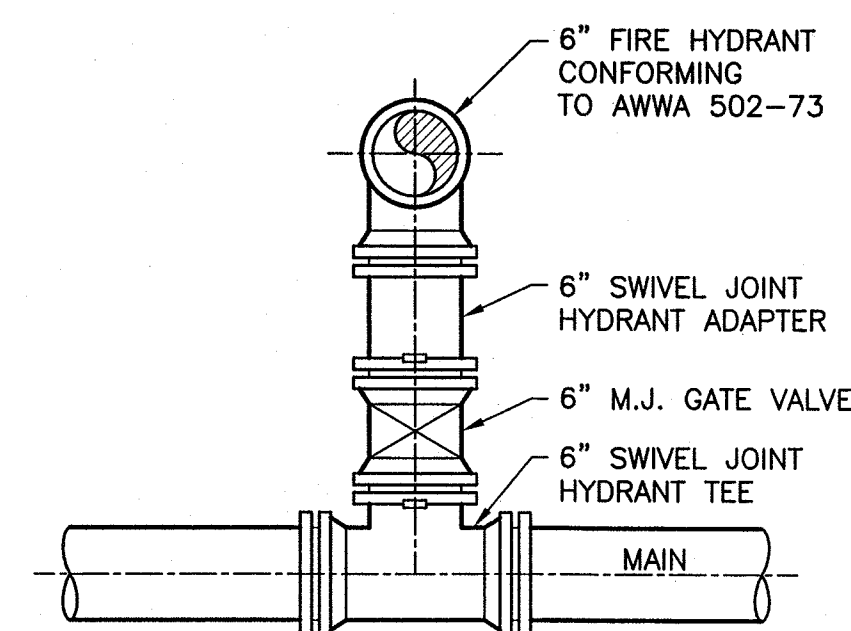
**C** WATER VALVE DETAIL  
N.T.S.



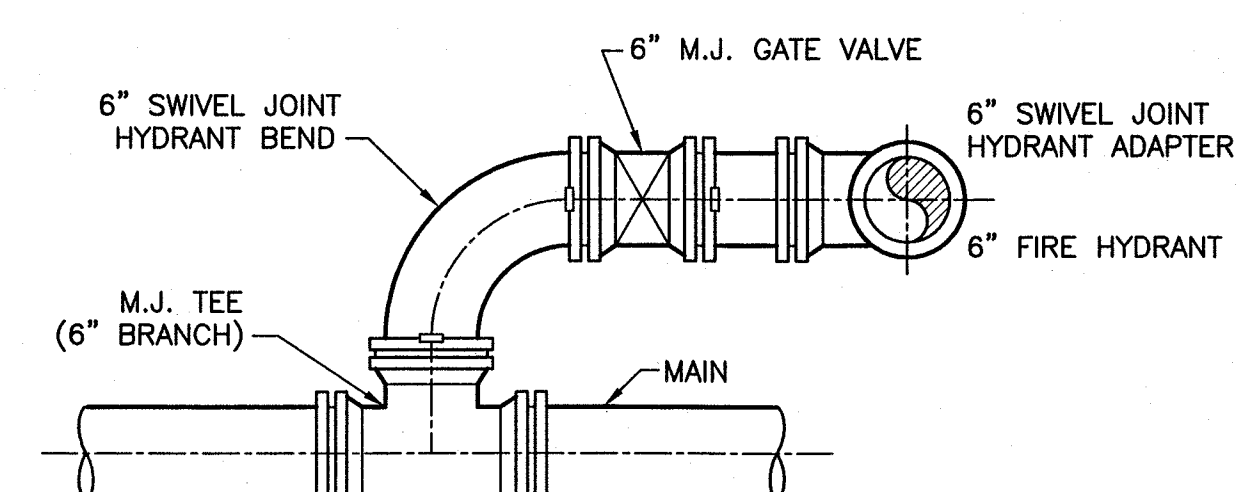
**G** CROSSING BELOW SEWER  
NOTE: WHERE A WATERLINE CROSSES OVER A SEWER LINE, OR IS LESS THAN 18" BELOW BOTTOM OF A SEWER LINE, THE WATER LINE SHALL BE ENCASED IN CONC. THE PIPE SHALL BE POSITIONED IN THE LINE SO THAT NO JOINT IS NEARER THAN 6' FROM THE SEWER LINE.



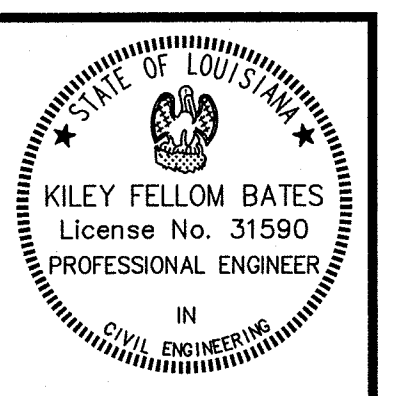
**H** WATER LINE PARALLELING SEWER LINE  
N.T.S.



**K** FIRE HYDRANT DETAIL (PLAN)  
N.T.S.



**L** FIRE HYDRANT DETAIL (SWIVEL JOINT)  
( N.T.S. )



SCALE: AS SHOWN  
DATE: 8/24/06  
DRAWN: WC/GWM  
CHECKED: TCS/KFB  
REVISED: 11/09/11  
2/4/2013  
3/6/2013

WATER DETAILS

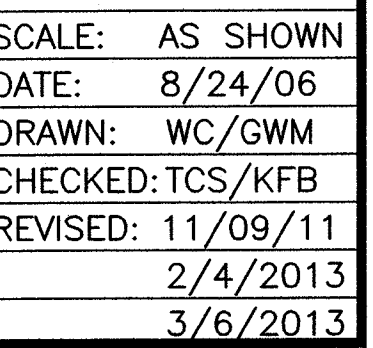
HOLLY GARDENS  
PHASE 2  
FOR  
MAURIN I, LLC  
HAMMOND, LA

**Spangler Engineering, LLC**  
CONSULTING CIVIL ENGINEERS  
214 S.W. RAILROAD AVENUE  
P.O. BOX 1374  
HAMMOND, LOUISIANA 70404  
(985) 542-8665 FAX: (985) 542-0046

SHEET  
**8**

C:\ANIPROJECTS\2006\COVINGTON GARDENS PH 2\WAT DET.dwg 10/12/2006 10:24:07 AM CST

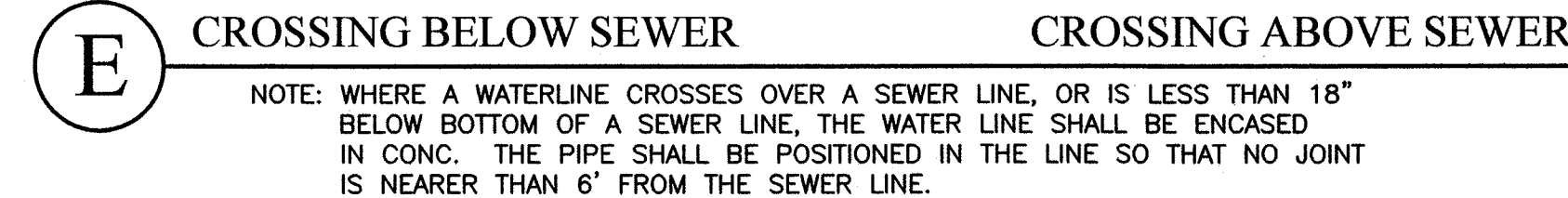
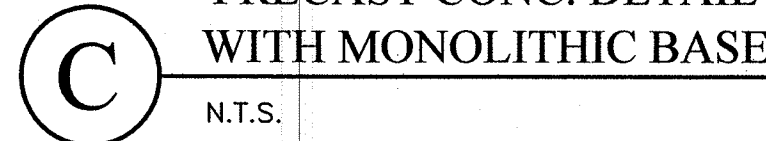




**HOLLY GARDENS  
PHASE 2  
FOR  
MAURIN I, LLC  
HAMMOND, LA**

(903) 342-8863 FAX: (903) 342-0046

9



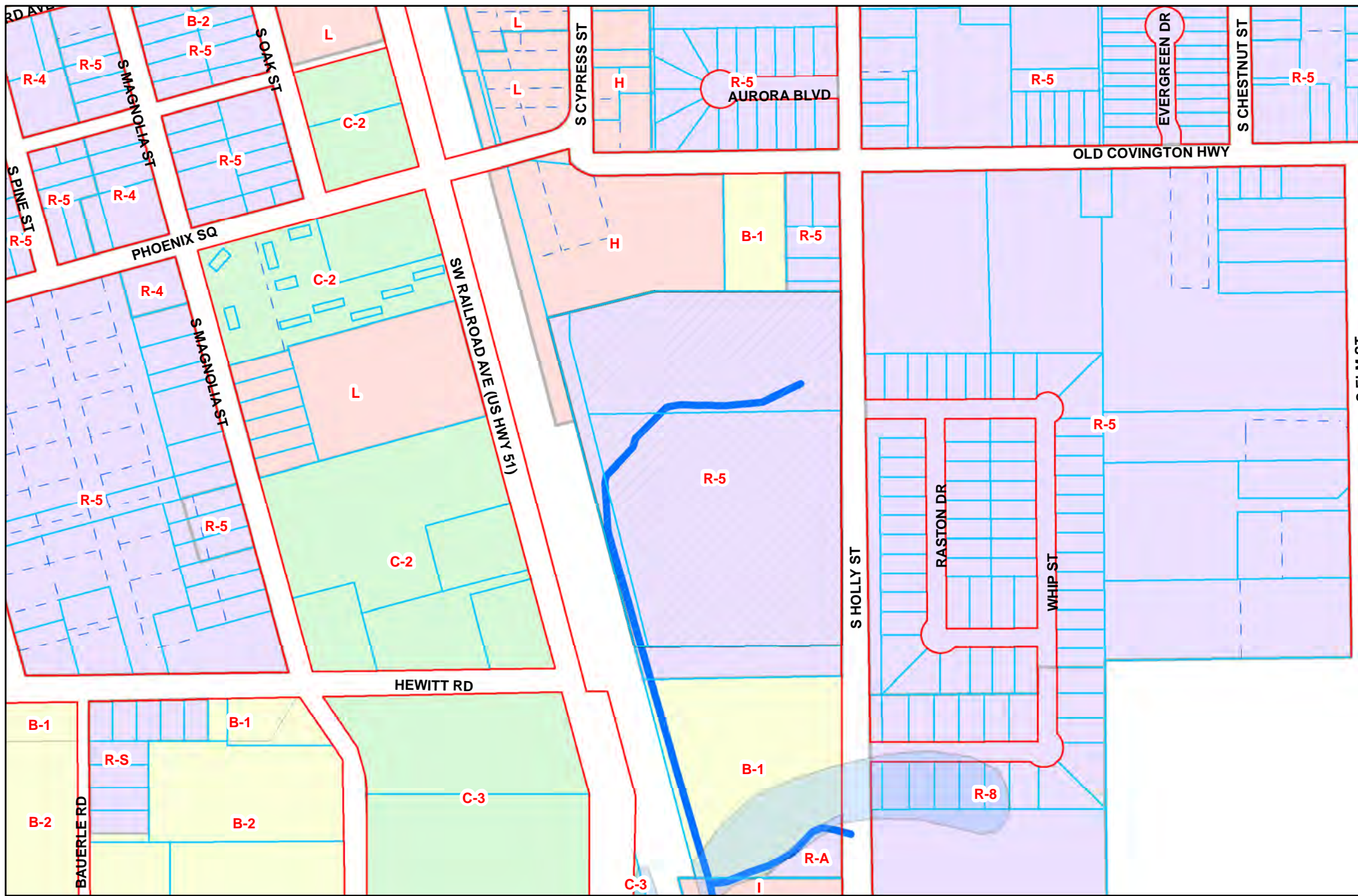
CHECKED:











This Parcel Map is a  
model of the area requested.  
IT IS NOT A LEGAL SURVEY.

# 1406 & 1508 S. Holly Street **SDF2013-3-2**      **Holly Gardens Phase 2**

## **Legend**

- Right\_of\_Way
- Parcel
- Lot\_of\_Record
- Case Parcel





This Parcel Map is a  
model of the area requested.  
IT IS NOT A LEGAL SURVEY.

1406 & 1508 S. Holly Street  
**SDF2013-3-2**      **Holly Gardens Phase 2**

**Legend**  
 Case Parcel