



Staff Report

Subdivision Case#SDF2013-8-3

Attachments: Application, Property Information Sheet, Photos, Zoning Map, Aerial Map, Final Plat, Construction Plans, Review Letters, Performance Bond/Letter of Credit

Planning Commission Public Hearing: Thursday November 7, 2013

City Council: Introduction – 11/19/2013 Final – 12/3/2013

CITY COUNCIL REQUEST: (Ordinance)

Final approval of Thames Subdivision (Lots 2A, 3A, 4A, & 5A), acceptance of dedication of all public improvements, acceptance of dedication of the extension of West Robert St (60' x 100.05' right of way), acceptance of performance bond/letter of credit for the construction of all public improvements located at 1010 W. Robert St. in accordance with amended final plat by Andrew N. Faller and construction plans by Duplantis Design Group; Zoned R11 & Hyer Cate Overlay (SDF2013-8-3) recommended approval w/conditions by Planning Commission

SITE INFORMATION:

Location (Address): 1010 W. Robert St.

COUNCIL DISTRICT: 2- Jason Hood

Site Description: Property is located at the far west end of Robert St. The street will be required to be constructed by the developer according to city requirements. There are no sidewalks that cross over Linden St. that would extend to the west end of Robert St. There are several street lights that are located on utility poles.

Existing Zoning: R11

Proposed Land Use: Single Family Residential

Existing Land Use: Undeveloped

ADJACENT LAND USE AND ZONING:

Direction:

Land Use/Zoning:

North:

Single Family Residential/R11 (Fronting on W. Church St)

South:

Single Family Residential/R5 (Fronting on W. Charles St)

East:

Single Family Residential/R11 (Fronting on Ellzey St)

West:

Single Family Residential/R11

ADDITIONAL INFORMATION:

March 6, 2008: Planning Commission voted to approve the resubdivision of 5 lots into 3 lots with the understanding the infrastructure improvements were to be done at the owner's expense.

April 15, 2008: City Council approved by Ord#08-5079 to final approve the resbdivision and to extend Robert St.

April 23, 2008: Plat for Thames Subdivision was filed prematurely with the Tangipahoa Clerk of Court, without the infrastructure improvements made.

Sept. 5, 2013: Planning Commission tabled per applicants request

Oct. 3, 2013: Planning Commission tabled per applicants request

PUBLIC HEARING:

For: Barry Landry (owner)

Public Comments by: Ruby Bird (214 N. Ellzey St); Anita Walker (914 W. Robert St); Susan Brocato (910 W. Robert St); Gary Boutwell (1005 W. Robert St.)

PLANNING COMMISSION RECOMMENDATION:

Motion: Stanley Young to grant a waiver of construction of sidewalks, recommended approval for the construction of Thames Subdivision and all infrastructure improvements, and acceptance of dedication of public improvements, acceptance of dedication of extension of W. Robert St. ROW (60' x 100.05'), and acceptance of performance bond/letter of credit with the following conditions being met prior to submission to the Hammond City Council.

- 1) Provide cost estimate of construction for review;

- 2) Provide draft performance bond/letter of credit for review;
- 3) Adding signature line additional owner for off-site drainage and utility servitude to the dedication statement on the final plat, and including obtaining this signature;
- 4) Changing design engineer signature line to read Duplantis Design Group instead of Spangler Engineering;
- 5) Meeting all city departments and review engineer comments;
- 6) Providing a complete set of signed and stamped final set of construction plans and final plat.

For: William Travis, Ralph Ross, Sam McClugage, Jimmy Meyer, Stanley Young

Against: None **Absent:** None

ORDINANCE TO READ:

WHEREAS, on March 6, 2008 the Planning Commission recommended approval of Thames Subdivision and the construction for the extension of West Robert St (SDP2007-10-3)

WHEREAS, on April 15, 2008 the Hammond City Council approved the Thames Subdivision by Ordinance#08-5079;

WHEREAS, on April 15, 2009 the preliminary approved expired due to no construction of infrastructure improvements according to **Subdivision Ord#2325 Section 2.2 Preliminary Subdivision Plans-Procedures, requirement (2)(7)**;

WHEREAS, on November 7, 2013 the Planning Commission approved the amended Thames Subdivision and waived the construction of sidewalks along the extension of W. Robert Street.;

WHEREAS, the Planning Commission recommended acceptance of dedication of all public improvements, acceptance of dedication for the extension of W. Robert Street right of way being 60' x 100.05' in accordance with amended final plat by Andrew N. Faller (attached hereto and made a part hereof) and construction plans by Duplantis Design Group, and acceptance of performance bond/letter of credit for the construction of all public improvements with the following conditions being met prior to submission to the Hammond City Council:

- 1) Provide cost estimate of construction for review;
- 2) Provide draft performance bond/letter of credit for review;
- 3) Adding signature line additional owner for off-site drainage and utility servitude to the dedication statement on the final plat, and including obtaining this signature;
- 4) Changing design engineer signature line to read Duplantis Design Group instead of Spangler Engineering;
- 5) Meeting all city departments and review engineer comments;
- 6) Providing a complete set of signed and stamped final set of construction plans and final plat.

NOW, THEREFORE, BE IT ORDAINED, that the City Council of Hammond, Louisiana hereby approves the following in accordance with the amended final plat of Thames Subdivision (Lots 2A, 3A, 4A, & 5A) by Andrew N. Faller (attached hereto and made a part hereof) and construction plans by Duplantis Design Group subject to conditions as listed above being satisfied prior to the signing and recordation of this referenced plat:

Section 1: Acceptance of dedication of sewer and water improvements located _____

Section 2: Acceptance of the extension of the West Robert St. right of way being 60' x 100.05'

Section 3: Acceptance of performance bond/letter of credit for the construction of public improvements in the amount of \$ _____, expiring on _____.

From: Josh Taylor, City Planner _____ **Date:** _____

AMENDED FINAL PLAT
THAMES SUBDIVISION
PORTIONS OF SQUARES 155 & 156
CATE ADDITION
CITY OF HAMMOND
SECTION 26, T6S-R7E
GREENSBURG LAND DISTRICT
TANGIPAHOA PARISH, LOUISIANA

Planning Commission Review Preliminary & Final Development with Procedure "A" (with bond) Procedure "B" (without bond)

Final Approval (Official Submittal Date) _____

APPROVAL OF FINAL PLANS
BY PLANNING COMMISSION Chairman _____ Date _____

Acceptance of City Council approval of final plans (not dedication of improvements)

OWNER/DEVELOPER:
Barry Landry _____ Date _____
P.O. Box 638
Hammond, LA. 70404

DESIGN ENGINEER:
SPANGLER ENGINEERING _____ Date _____

BOND ACCEPTANCE _____ Date _____

CITY ATTORNEY _____ Date _____

CITY COUNCIL PRESIDENT _____ Date _____

DEDICATION: Barry Landry irrevocably offers for dedication to the City of Hammond the use of roads, easements, servitudes, right-of-ways, parks and required utilities as shown on this subdivision plat and construction plans, specifications and restrictions as approved on _____ (date) by the Hammond City Council and designated as Thames Subdivision a subdivision of a 2.21 acre tract.

BY _____
DATE _____

ACCEPTANCE: The City of Hammond hereby accepts the dedication of roads, easements, servitudes, right-of-ways, parks and required utilities in Thames Subdivision. This acceptance is subject to final acceptance of "as-built" construction plans from the developer to the city and posting of the required one year maintenance bond, by the owner/developer.

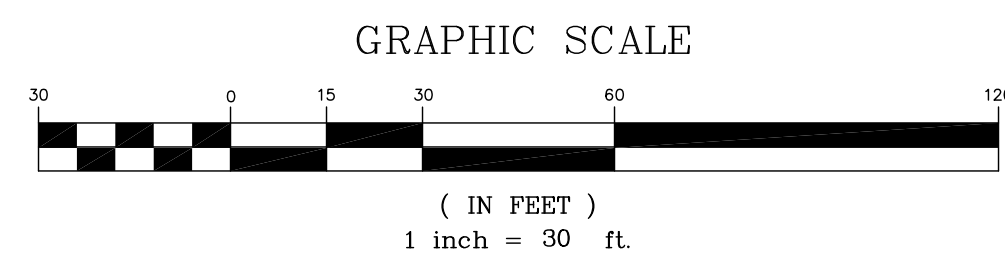
BY _____ CITY COUNCIL PRESIDENT
DATE _____

SERVITUDE DESCRIPTION
THAT CERTAIN PIECE OR PARCEL OF LAND BEING SITUATED IN SECTION 26, TOWNSHIP 6 SOUTH-RANGE 7 EAST, SQUARE 155 OF THE CATE ADDITION, CITY OF HAMMOND, TANGIPAHOA PARISH, LOUISIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF NORTH LINDEN STREET AND THE NORTH RIGHT OF WAY LINE OF WEST ROBERT STREET, THENCE WESTERLY 465 FEET ALONG THE NORTH RIGHT OF WAY LINE OF WEST ROBERT STREET TO A 3/4" PIPE FOUND; THENCE ALONG SAID RIGHT OF WAY S74°11'20"W A DISTANCE OF 26.28 FEET TO A 1/2" IRON ROD FOUND; THENCE S14°48'13"E A DISTANCE OF 57.42 FEET TO A 1/2" PIPE FOUND; THENCE S74°57'06"W A DISTANCE OF 140.05 FEET TO A 1/2" IRON ROD SET AND THE POINT OF BEGINNING FOR A 8 FOOT WIDE DRAINAGE SERVITUDE; THENCE S74°57'06"W A DISTANCE OF 60.05 FEET TO A 1/2" PIPE FOUND; THENCE S76°15'28"W A DISTANCE OF 25.00 FEET TO A 1 1/2" PIPE FOUND; THENCE S75°29'25"W A DISTANCE OF 125.04 FEET TO A 3/4" PIPE FOUND ON THE EAST RIGHT OF WAY LINE OF NORTH ELLZEY STREET; THENCE N14°36'53"W A DISTANCE OF 8.00 FEET TO A POINT; THENCE N75°29'25"E A DISTANCE OF 125.11 FEET TO A POINT; THENCE N76°15'28"E A DISTANCE OF 24.92 FEET TO A POINT; THENCE N74°57'06"E A DISTANCE OF 59.99 FEET TO A POINT; THENCE S14°48'13"E A DISTANCE OF 8.00 FEET BACK TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED SERVITUDE CONTAINS 0.039 ACRE AS SURVEYED BY TURNER SURVEYS, LLC, JOB #13-0342, DATED 7/31/13, REVISED ON 11/01/13 AND IS SUBJECT TO ALL SERVITUDES AND RESTRICTIONS THAT MAY BE OF RECORD.

MADE AT THE REQUEST OF:
BARRY LANDRY

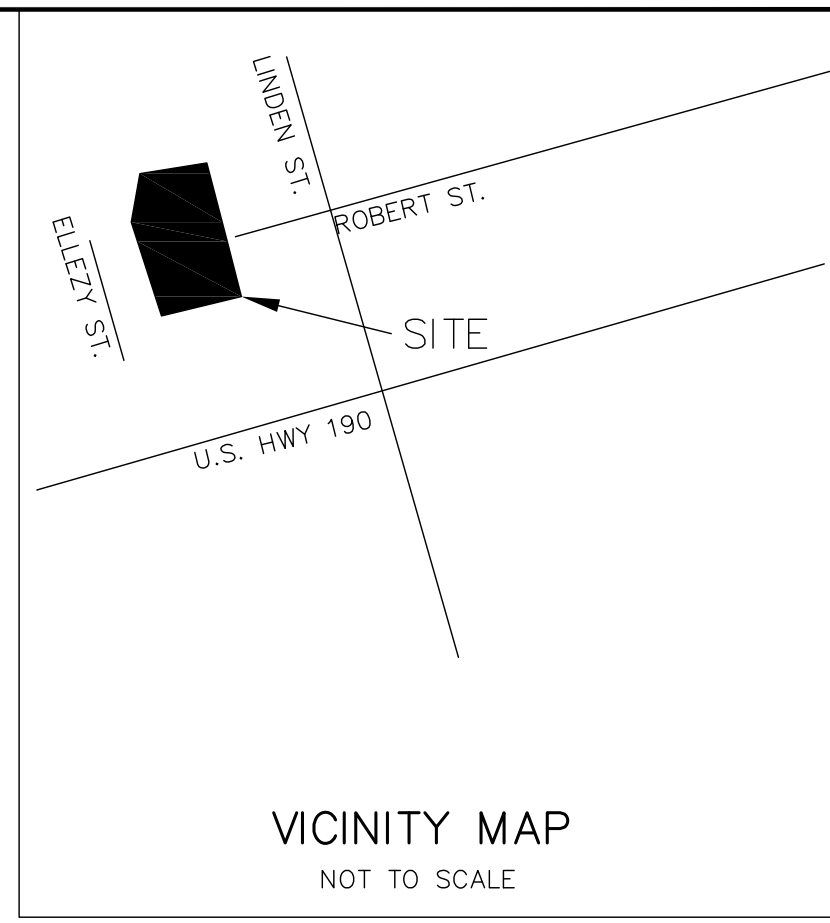


DATE	DESCRIPTION	REVISED
11/1/13	REVISED TO ADD DRAINAGE SERVITUDE	ANF

PROPERTY DESCRIPTION
THAT CERTAIN PIECE OR PARCEL OF LAND BEING SITUATED IN SQUARES 155 & 156 OF THE CATE ADDITION, CITY OF HAMMOND, TANGIPAHOA PARISH, LOUISIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF NORTH LINDEN STREET AND THE NORTH RIGHT OF WAY LINE OF WEST ROBERT STREET, THENCE WESTERLY 465 FEET ALONG THE NORTH RIGHT OF WAY LINE OF WEST ROBERT STREET TO A 3/4" PIPE FOUND FOR THE POINT OF BEGINNING; THENCE ALONG SAID RIGHT OF WAY S74°11'20"W A DISTANCE OF 26.28 FEET TO A 1/2" IRON ROD SET; THENCE S14°48'13"E A DISTANCE OF 206.60 FEET TO A 5/8" PIPE FOUND; THENCE S74°41'54"W A DISTANCE OF 200.30 FEET TO A 4" PIPE FOUND; THENCE N14°43'51"W A DISTANCE OF 150.00 FEET TO A 1 1/2" PIPE FOUND; THENCE S76°15'28"W A DISTANCE OF 25.00 FEET TO A 1 1/2" PIPE FOUND; THENCE N14°36'56"W A DISTANCE OF 199.53 FEET TO A 1 1/2" PIPE FOUND; THENCE N20°22'00"E A DISTANCE OF 106.55 FEET TO A 1" PIPE FOUND; THENCE N89°28'24"E A DISTANCE OF 189.66 FEET TO A FENCE POST FOUND; THENCE N73°58'20"E A DISTANCE OF 32.57 FEET TO A FENCE POST FOUND; THENCE S15°48'40"E A DISTANCE OF 197.17 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 2.21 ACRES AS SURVEYED BY TURNER SURVEYS, LLC, JOB #13-0342, DATED 7/31/13, REVISED 11/01/13 AND IS SUBJECT TO ALL SERVITUDES AND RESTRICTIONS THAT MAY BE OF RECORD.



● = 1/2" IRON ROD SET UNLESS NOTED

NOTE: THE 2000 EDITION OF THE LOUISIANA DOTD STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES SHALL GOVERN THIS PROJECT EXCEPT AS AMENDED BY SPECIAL PROVISION AND/OR SUPPLEMENTAL SPECIFICATIONS.

TOTAL ACREAGE OF DEVELOPMENT: 2.21 ACRES

NUMBER OF LOTS: 4

CURRENT ZONING: R-11 (RESIDENTIAL). SETBACKS SHOWN ARE THE MINIMUM REQUIRED FOR THIS ZONING.

GENERAL NOTES

The Servitudes and Restrictions shown on this survey are limited to those set forth in the description furnished us and there is no representation that all applicable Servitudes and Restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey.

I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found this property is not in a Special Flood Hazard Area.

F. I. A. ZONE: X
BASE FLOOD ELEVATION: NONE
COMMUNITY PANEL NO. 22105C0340F
EFFECTIVE DATE: 7/22/10

NOTE: THE FIELD WORK FOR THE ORIGINAL BOUNDARY AND SUBDIVISION WAS DONE ON 9/21/07, BY TURNER SURVEYS, LLC, JOB # 07-0534

I CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IT DOES CONFORM TO THE REQUIREMENTS FOR THE MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS FOUND IN LOUISIANA ADMINISTRATIVE CODE TITLE 46: LXI, CHAPTER 25 FOR A CLASS "C" SURVEY.

RECORDING INFORMATION:
BOOK _____ PAGE _____ INSTRUMENT # _____
RECORDED BY _____ DATE _____

TURNER SURVEYS, LLC
15732 E. HOFFMAN ROAD
PONCHATOULA, LA 70454
Phone: (985)386-2358
Fax: (985)386-2359
Turnersurveys@turnersurveys.net

ANDREW N. FALLER, P.L.S.; LA. REG. NO. 4980
REGISTERED PROFESSIONAL LAND SURVEYOR

AMENDED FINAL PLAT THAMES SUBDIVISION IN SEC.26, T6S-R7E CITY OF HAMMOND TANGIPAHOA PARISH, LOUISIANA			
DATE: 7/31/13	DRAWN BY: ANP	JOB NO.:	DRAWING NO. 1
SCALE: 1" = 30'	CHECKED BY: DLG	13-0342	

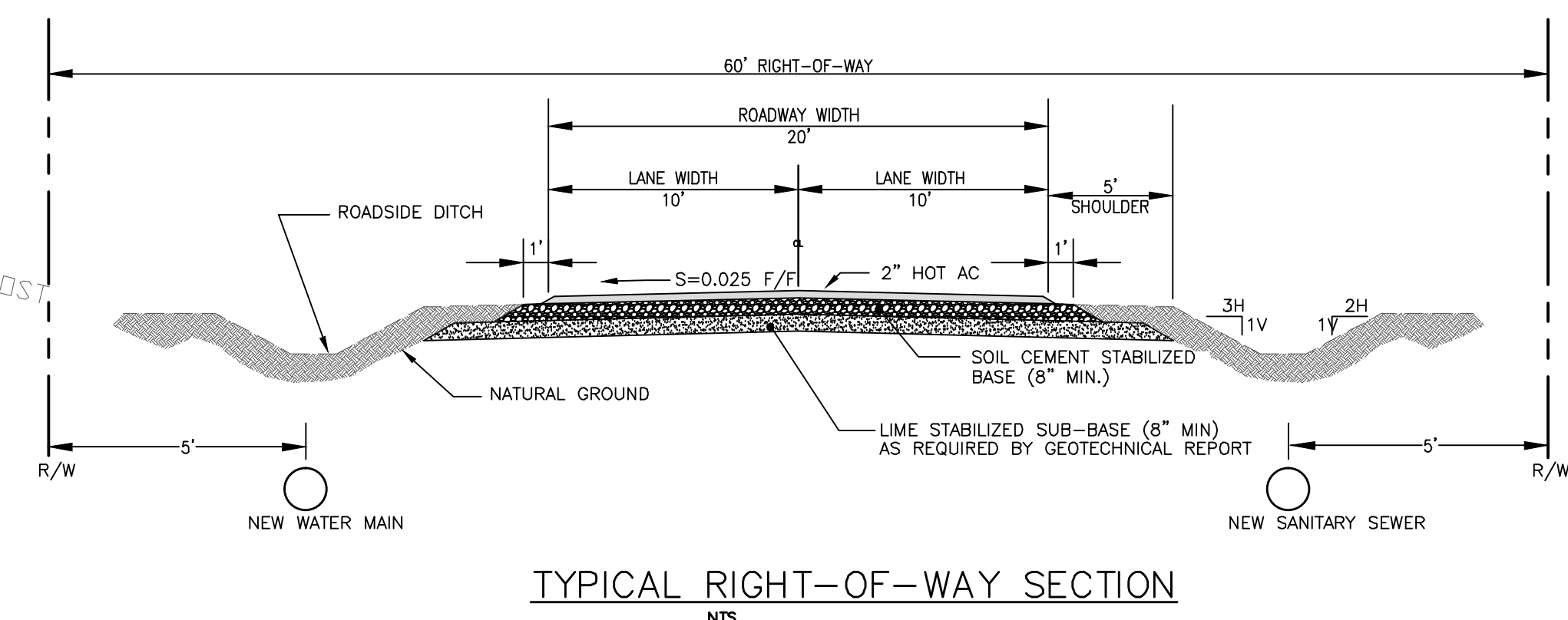
REVISION	BY

DDG
 DUPLANTIS DESIGN GROUP, PC
 CIVIL ENGINEERING - ARCHITECTURE
 34 LOUIS PRIMA DRIVE COVINGTON, LA 70433
 WWW.DDGP.COM Phone: 985-496-6800 || Fax: 985-496-6990
 THIBODAUX | COVINGTON | HOUSTON | BATON ROUGE | LOUISIANA

PROGRESS SET - FOR REVIEW ONLY
 Issued 11/06/13
 These documents are for design review and not intended for construction, bidding, recordation, conveyance or any other use without the express written consent of Duplantis Design Group, P.C.

THAMES SUBDIVISION
 HAMMOND, LOUISIANA
 TANGIPAHOA PARISH
 BARRY LANDRY
 HAMMOND, LOUISIANA

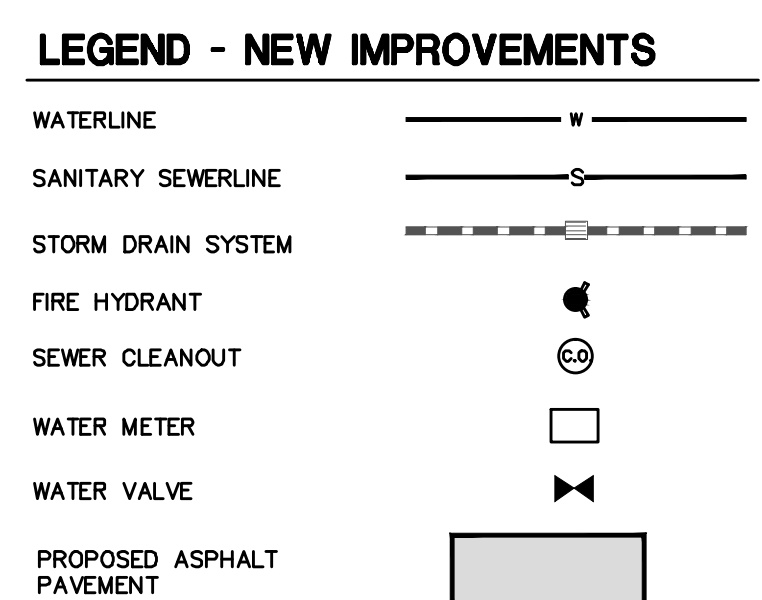
DRAWN SMT
CHECKED THB
ISSUED DATE 11-5-2013
ISSUED FOR REVIEW
PROJECT NO. 13-428
FILE 13-428 - C-1 Utility
SHEET C-1



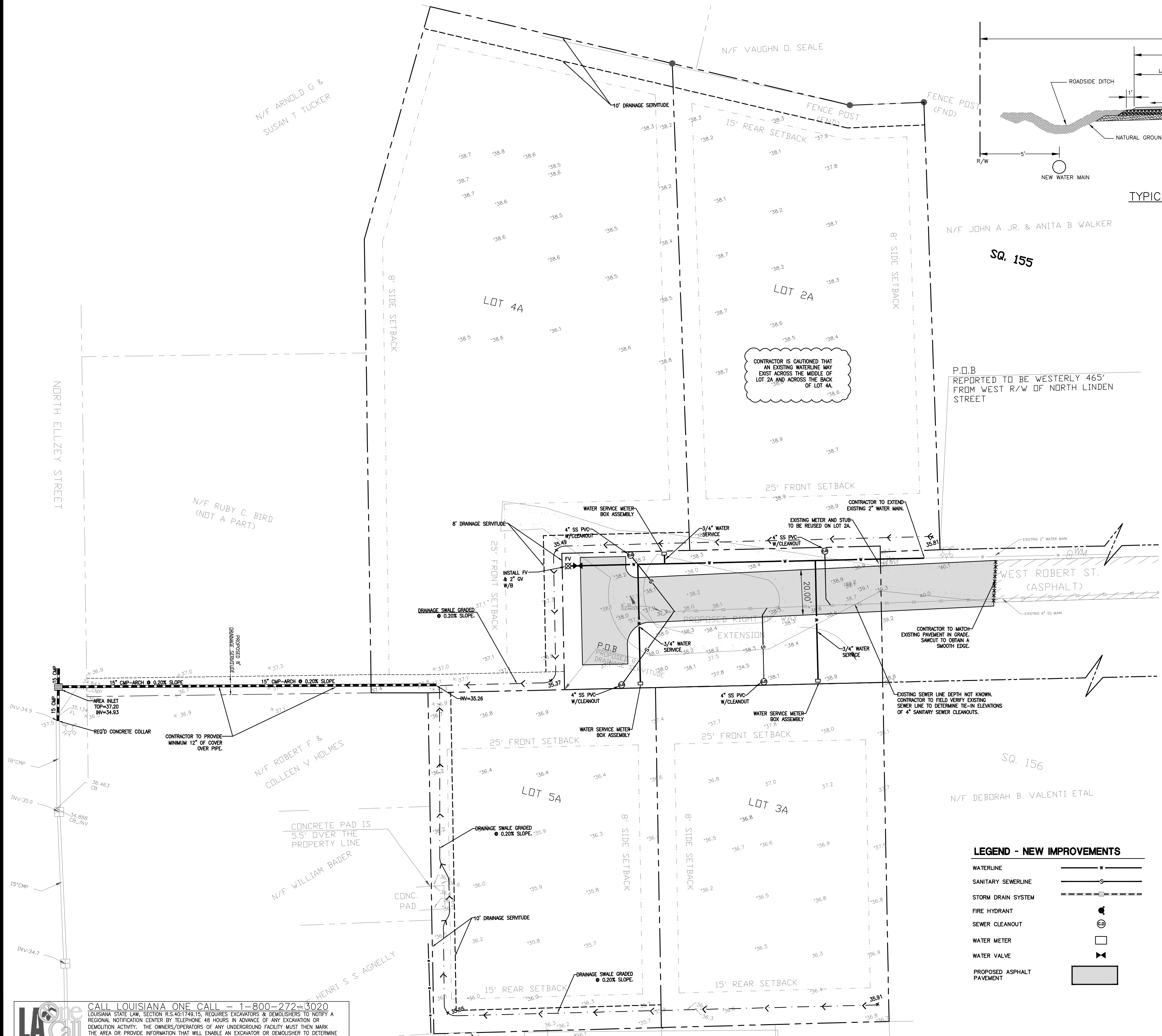
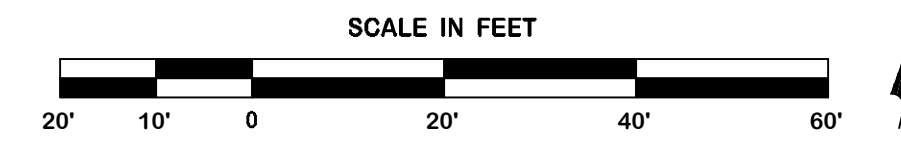
- UTILITY NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES & NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION &/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES & WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR SHALL VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, & ALL UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO REMOVE OR RELOCATE WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, EASEMENTS, & CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPE, POWER POLES & GUY WIRES, WATER METERS & WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, & ASPHALT, SHOWN & NOT SHOWN, WITHIN CONSTRUCTION LIMITS & WHERE NEEDED, TO ALLOW FOR FILL MATERIAL, UNLESS OTHERWISE DENOTED, TO BE REMOVED AS UNCLASSIFIED EXCAVATION.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 - CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES & BE CONSTRUCTED TO SAME.
 - CONTRACTOR SHALL BACKFILL UTILITIES IN ACCORDANCE WITH THE UTILITY COMPANY SPECIFICATIONS.
 - ALL STORM PIPE SHALL BE BACKFILLED AND COMPACTED WITH 98% STANDARD PROCTOR. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION & TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, & OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS & EGRESS FROM ALL EXCAVATION & TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
 - SITING FOR THIS PROJECT SHALL MEET OR EXCEED THE CITY OF HAMMOND STANDARD SITING SPECIFICATIONS.
 - CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH & PREVENT ANY CONFLICT OF UTILITIES.
 - THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER & SEWER LINE IS TEN (10) FEET, OR MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER & SEWER LINE IS EIGHTEEN (18) INCHES.
 - CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS TIGHT.
 - CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
 - CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES & REQUIREMENTS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES & OWNERS INSPECTING AUTHORITIES.
 - ALL NECESSARY INSPECTIONS &/OR CERTIFICATIONS REQUIRED BY CODES &/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION & THE FINAL CONNECTION OF SERVICES.

- WATER NOTES:**
- ALL WORK SHALL BE DONE TO THE CITY OF HAMMOND STANDARD SPECIFICATIONS.
 - CONTRACTOR SHALL CONSTRUCT WATER SERVICES AS SHOWN, & CONSTRUCT METERS, PITS, & INSTALL CHECK VALVE.
 - ALL VERTICAL BENDS ON WATER MAIN SHALL BE RESTRAINED WITH A MECHANICAL JOINT FITTING SUPPLIED WITH THE RETAINER GLANDS. ANY JOINTS 25 FEET OR LESS FROM EITHER SIDE OF VERTICAL BEND SHALL BE RESTRAINED WITH A RETAINER GLAND.
 - DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
 - ALL VALVES SHALL BE INSTALLED IN A CAST IRON VALVE BOX WITH COVER.
 - THRUST BLOCKS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, & FIRE HYDRANTS. SEE DETAIL.
 - THE MINIMUM COVER ON WATER MAINS SHALL BE 3 FEET.
 - PIPE SIZES 3" & SMALLER SHALL BE PVC. FITTINGS SHALL BE BRASS. SEE SPECIFICATIONS.
 - PIPE SIZES 4" & LARGER SHALL BE PVC C-900 WATER PIPE. ALL FITTINGS 4" & LARGER SHALL BE CAST IRON CONFORMING TO ANSI & AWWA STANDARD SPECIFICATIONS.
 - GATE VALVES 3/4" THROUGH 3" SHALL BE BRONZE WEDGE TYPE GATE VALVE. VALVES SHALL HAVE NON-RISING STEM WITH SOLID TEE HEAD OPERATING NUT UNLESS NOTED OTHERWISE.
 - GATE VALVES 4" & LARGER SHALL BE CAST IRON GATE VALVE WITH PARALLEL DOUBLE DISC. VALVES SHALL HAVE MECHANICAL JOINT ENDS & NON-RISING STEM WITH SQUARE OPERATING NUT.

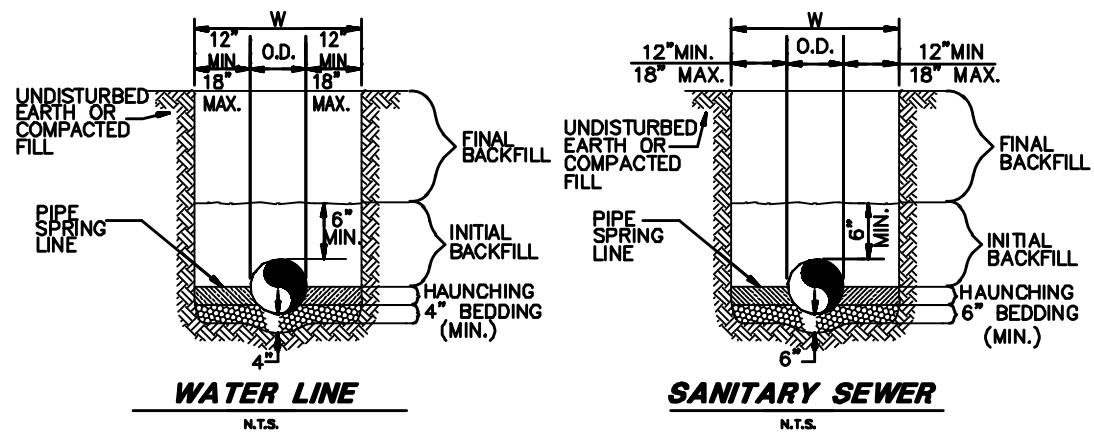
- SANITARY SEWER NOTES:**
- ALL WORK SHALL BE DONE TO THE CITY OF HAMMOND STANDARD SPECIFICATIONS.
 - CONTRACTOR SHALL PAY ALL FEES & CHARGES PERTINENT TO SANITARY SEWER CONSTRUCTION & SHALL COORDINATE WITH CITY OF HAMMOND PRIOR TO COMMENCING WITH CONSTRUCTION.
 - ALL STUB-OUTS & WYE LATERALS SHALL BE PLUGGED WITH A STANDARD TYPE PLUG.
 - SANITARY SEWER PIPE OF DIFFERENT MATERIAL SHALL BE JOINED BY A RUBBER SLEEVE WITH STAINLESS STEEL COUPLING, MADE FOR TRANSITION FROM ONE MATERIAL TO ANOTHER.
 - DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR TO CENTERLINE OF MANHOLE.
 - THE SANITARY SEWER PIPE MATERIAL SHALL BE PVC, SDR 35, SEWER PIPE UNLESS OTHERWISE NOTED ON PLAN.



UTILITY SITE PLAN

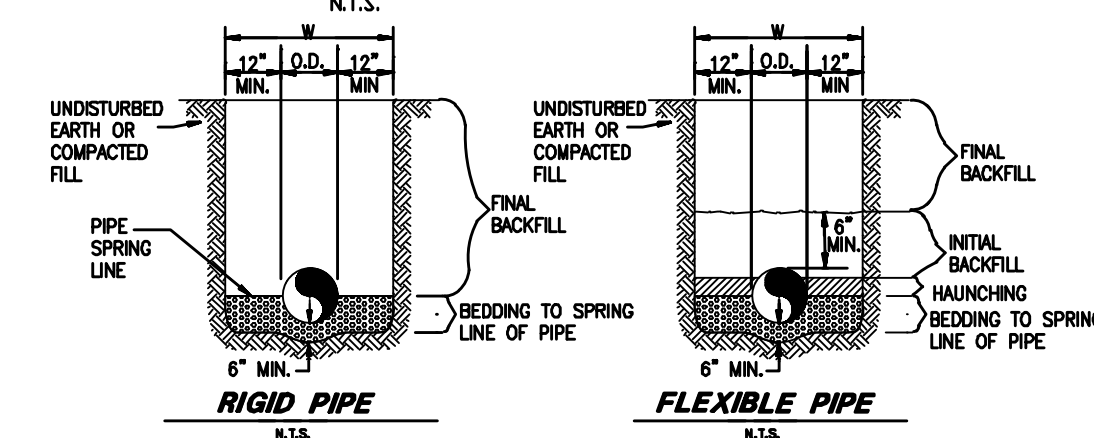


CALL LOUISIANA ONE CALL - 1-800-272-3020
 LOUISIANA STATE LAW, SECTION R.S.40:1749.15, REQUIRES EXCAVATORS & DEMOLISHERS TO NOTIFY A REGIONAL NOTIFICATION CENTER BY TELEPHONE 48 HOURS IN ADVANCE OF ANY EXCAVATION OR DEMOLITION ACTIVITY. THE OWNERS/OPERATORS OF ANY UNDERGROUND FACILITY MUST THEN MARK THE AREA OR PROVIDE INFORMATION THAT WILL ENABLE AN EXCAVATOR OR DEMOLISHER TO DETERMINE THE LOCATION OF UNDERGROUND FACILITIES.



- GENERAL NOTES**
1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 95% STANDARD PROCTOR.
 2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 95% PROCTOR.
 3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
 4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS II COMPACTED TO 90% STANDARD PROCTOR.
 5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3, AND 4.
 6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS I-A COMPACTED TO 95% STANDARD PROCTOR.
 7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-LATEST EDITION.
 8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 6" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS II AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
 9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
 10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES.

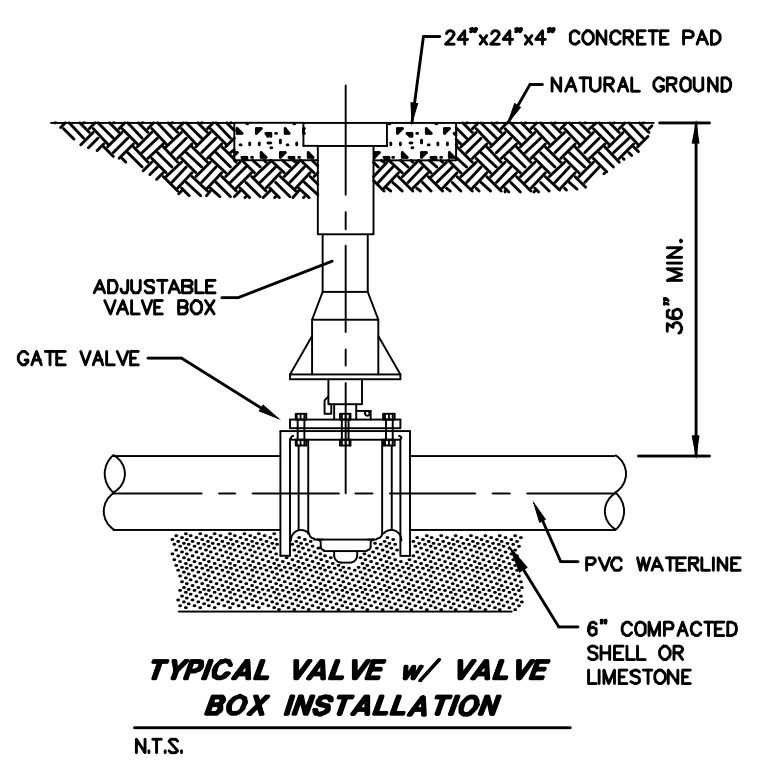
UTILITY TRENCH AND BEDDING
N.T.S.



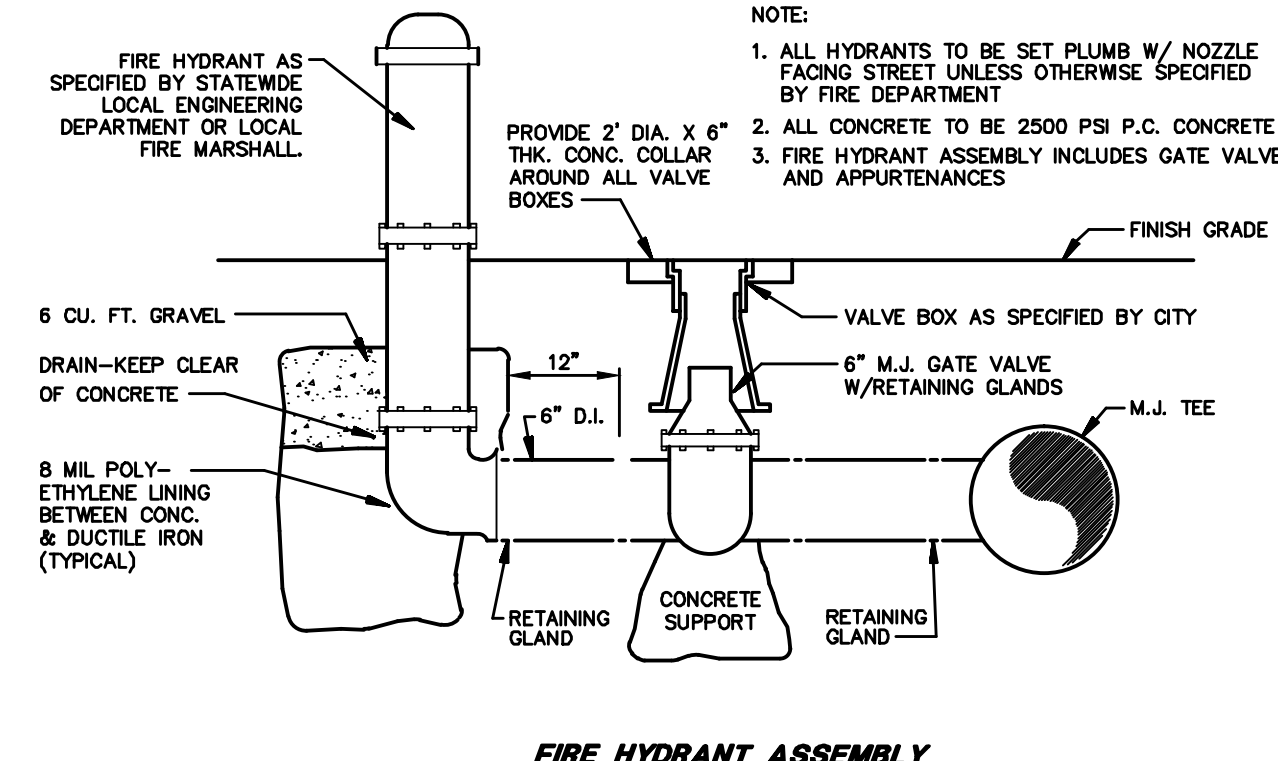
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STORM SEWER TRENCH AND BEDDING
N.T.S.

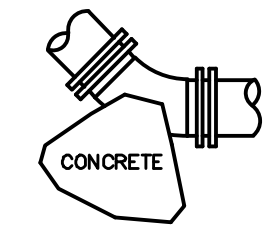
CLASS	TYPE	SOIL GROUP SYMBOL	DESCRIPTION
1A	MANUFACTURED AGGREGATES; OPEN-GRADED, CLEAN	NONE	ANGULAR, CRUSHED STONE OR ROCK, CRUSHED GRAVEL, BROKEN CORAL, CRUSHED SLAG, CONCRETE OR SHELLS, LARGE VOID CONTENT, CONTAIN LITTLE OR NO FINES
1B	MANUFACTURED, PROCESSED AGGREGATES; DENSE-GRADED, CLEAN	NONE	ANGULAR, CRUSHED STONE (OR OTHER CLASS 1A MATERIALS) AND STONE/SAND MIXTURES WITH GRADATIONS SELECTED TO MINIMIZE MIGRATION OF ADJACENT SOILS, CONTAIN LITTLE OR NO FINES (SEE 1.8)
II	COARSE-GRAINED SOILS CLEAN	GW	WELL-GRADED GRAVELS AND GRAVEL-SAND MIXTURES; LITTLE OR NO FINES
		GP	POORLY-GRADED GRAVELS AND GRAVEL-SAND MIXTURES; LITTLE OR NO FINES
		SW	WELL-GRADED SANDS AND GRAVELY SANDS; LITTLE OR NO FINES
		SP	POORLY-GRADED SANDS AND GRAVELY SANDS; LITTLE OR NO FINES
III	COARSE-GRAINED SOILS WITH FINES	e.g. GW-OC, SP-SM	SANDS AND GRAVELS WHICH ARE BORDERLINE BETWEEN CLEAN AND WITH FINES
		GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
IV-A	FINE-GRAINED SOILS (INORGANIC)	GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
		SM	SILTY SANDS, SAND-SILT MIXTURES
		SC	CLAYEY SANDS, SAND-CLAY MIXTURES
IV-B	FINE-GRAINED SOILS (INORGANIC)	ML	INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS, SILTS WITH SLIGHT PLASTICITY
		CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
V	ORGANIC SOILS	MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
		CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
		OL	ORGANIC SILTS AND ORGANIC SILTY CLAYS OF LOW PLASTICITY
HIGHLY ORGANIC		OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
		PT	PEAT AND OTHER HIGH ORGANIC SOILS



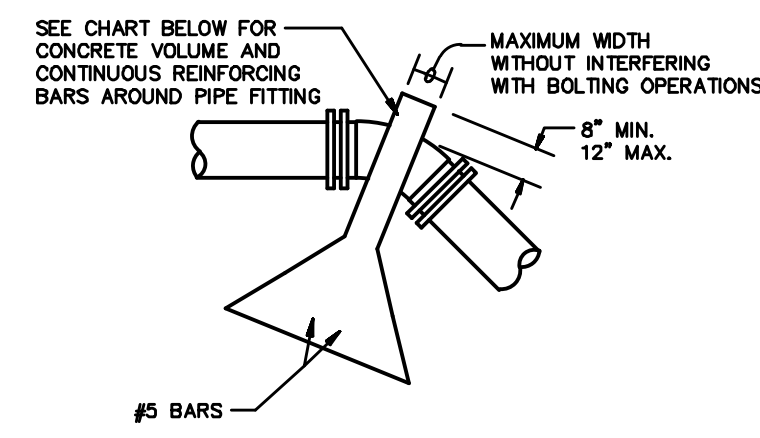
TYPICAL VALVE w/ VALVE BOX INSTALLATION
N.T.S.



FIRE HYDRANT ASSEMBLY
N.T.S.



DOWNWARD THRUST BLOCKING
(SEE HORIZONTAL BLOCKING DETAIL)
(ALL BENDS SIMILAR)



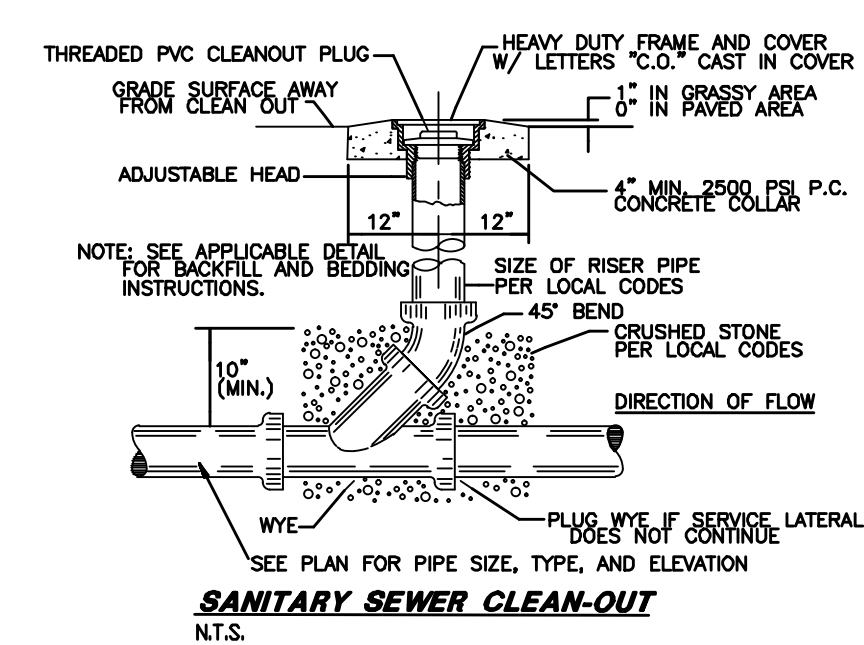
UPWARD THRUST BLOCKING

UPWARD THRUST BLOCKING
(REQUIRED REINFORCING BARS & CUBIC YARDS OF P.C. CONCRETE)

PIPE SIZE	90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	CONC. QTY.	REINF. SIZE	CONC. QTY.	REINF. SIZE	CONC. QTY.	REINF. SIZE	CONC. QTY.	REINF. SIZE
6	1.9	4	1.2	4	0.6	4	0.3	4
8	3.3	4	1.9	4	1.0	4	0.6	4
10	5.3	6	2.9	4	1.4	4	0.7	4
12	7.6	6	4.3	6	2.2	4	1.2	4

- NOTES:**
1. DO NOT COVER BELLS OR FLANGES WITH CONCRETE
 2. WRAP ALL FITTINGS WITH VISQUEEN.
 3. BACK ALL TEES ACCORDING TO SIZE OF BRANCH.
 4. BACKING FUTURE LINE EXTENSIONS SHALL BE SUCH THAT LATER REMOVAL IS POSSIBLE.
 5. ALL BENDS WHERE FITTINGS ARE USED, BOTH HORIZONTAL OR VERTICAL SHALL BE BACKED.
 6. REACTION BACKING TABLE IS BASED ON 200 P.S.I. AND SOIL BEARING PRESSURE OF 2000 LB./SQ.FT. ADDITIONAL BACKING MAY BE REQUIRED IN SOME AREAS AS DIRECTED BY ENGINEERS.
 7. ALL CONCRETE SHALL BE 2500 P.S.I.
 8. 18" AND LARGER REQUIRES SPECIFIC ANTI-THRUST DESIGN.

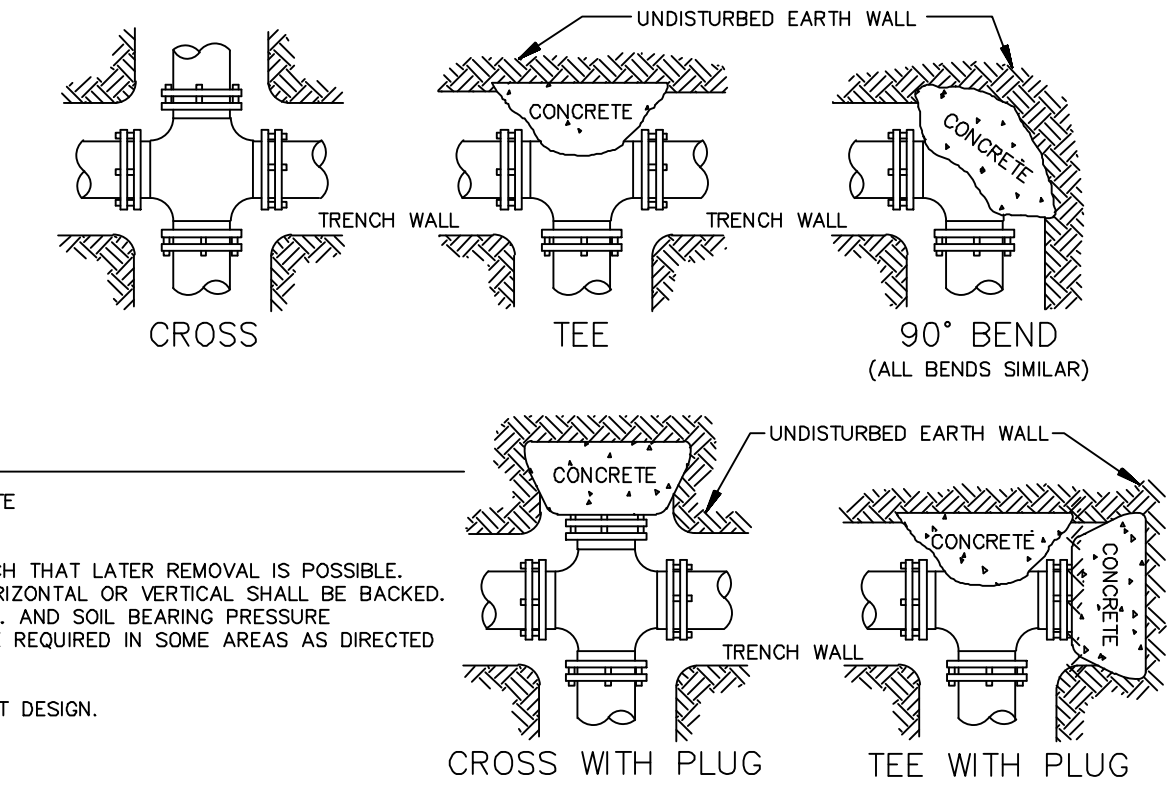
VERTICAL THRUST BLOCKING
N.T.S.



SANITARY SEWER CLEAN-OUT
N.T.S.

HORIZONTAL THRUST BLOCKING
(BLOCKING HEIGHT GREATER THAN PIPE O.D.)
(BLOCKING WIDTH BETWEEN 1 & 2 TIMES HEIGHT)
REQUIRED SQ. FT. OF UNDISTURBED EARTH WALL FOR REACTION BACKING

PIPE SIZE	TYPE OF FITTINGS			
	TEE & PLUG	90°	45°	22 1/2°
6	3.0	4.0	2.5	1.2
8	5.0	7.0	4.0	2.0
10	8.0	11.0	6.0	3.0
12	11.0	16.0	9.0	4.5



- NOTES:**
1. DO NOT COVER BELLS OR FLANGES WITH CONCRETE
 2. WRAP ALL FITTINGS WITH VISQUEEN.
 3. BACK ALL TEES ACCORDING TO SIZE OF BRANCH.
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 7. ALL CONCRETE SHALL BE 2500 P.S.I.
 8. 18" AND LARGER REQUIRES SPECIFIC ANTI-THRUST DESIGN.

HORIZONTAL THRUST BLOCKING
N.T.S.

REVISION	BY

DDG
DUPLANTIS DESIGN GROUP, PC
CIVIL ENGINEERING - ARCHITECTURE
34 LOUIS PRIMA DRIVE COVINGTON, LA 70433
WWW.DDGP.COM PHONE: 985-249-6960 FAX: 985-249-6990
THIBODAUX | COVINGTON | HOUSTON | BATON ROUGE | LOUISIANA

PROGRESS SET - FOR REVIEW ONLY
Issued 11/06/13
These documents are for Design Review and not intended for Construction, Bidding, Recordation, or Conveyance. They were prepared by or under the supervision of:
Tommie Buckalew, P.E. #31022
Duplantis Design Group, P.C.

THAMES SUBDIVISION
HAMMOND, LOUISIANA
TANGIPAHOA PARISH
BARRY LANDRY
HAMMOND, LOUISIANA

DRAWN SMT
CHECKED THB
ISSUED DATE 11-6-2013
ISSUED FOR REVIEW
PROJECT NO. 13-428
FILE 13-428 - DETAILS
SHEET D-1

DETAILS

BID TABULATION

THAMES SUBDIVISION					
11/13/2013 (6" Water Alt.)					
Bid		Bid	Engineer's Estimate		
Item	Description	Quantity	Unit Price	Extension	
1.	Clearing & Grubbing	0.20	AC	\$ 15,000.00	\$ 3,000.00
2.	Selective Clearing	8.0	HR	200.00	1,600.00
3.	Sawcut Removal of Asphalt	25.0	LF	20.00	500.00
4.	Unclassified Excavation [12"deep x 22'W]	120	CY	10.00	1,200.00
5.	SELECT BACKFILL [truck measure]	50	CY	15.00	750.00
6.	Limestone Base [8"thick x 21'W]	400	SY	20.00	8,000.00
7.	Hot Asphaltic overlay [2" thick]	50	TN	110.00	5,500.00
8.	Tie-in new water/sewer lines to exist.	1	EA	1,500.00	1,500.00
9.	6x4 SS Wye with Cleanouts	4	EA	500.00	2,000.00
10.	Sewer Service Lines - 4"	125	LF	12.00	1,500.00
11.	Water Lines - 6"	416	LF	26.00	10,816.00
12.	Water Service Assembly	3	EA	600.00	1,800.00
13.	Water Service Tubing - 3/4"	110	LF	6.00	660.00
14.	Fire Hydrant Assembly	1	EA	3,250.00	3,250.00
15.	15" CMP Drainage pipe	21	LF	40.00	840.00
16.	15" CMPA Drainage pipe	165	LF	45.00	7,425.00
17.	Area Inlet	2	EA	2,500.00	5,000.00
18.	Concrete Collar	1	EA	300.00	300.00
19.	Construct Swale and Stabilize	608	LF	7.00	4,256.00
BASE BID [items "1." through "19."]:				\$	59,897.00

From: [Robert Morgan](#)
To: "[Scott Tabary](#)"
Cc: [Beezie Landry](#); [Thomas Buckel](#); [Tracie Schillace](#); [Josh Taylor](#); [Robert Morgan](#)
Subject: RE: Thames Subdivision
Date: Wednesday, November 06, 2013 1:34:44 PM

Scott, the street plan is fine.

Thanks

Robert

From: Scott Tabary [mailto:stabary@ddgpc.com]
Sent: Wednesday, November 06, 2013 1:22 PM
To: Robert Morgan
Cc: Beezie Landry; Thomas Buckel
Subject: RE: Thames Subdivision

Robert,

I reference to the Thames Subdivision plan we are currently preparing, could you elaborate on what is meant by the comment that you need street build plans? We have provided a proposed typical roadway section on the sheet which Beezie sent yesterday. Is there more information which you are looking for? Please let me know so that I can provided you with the correct information.

Thanks,

Scott Tabary, E.I.

Duplantis Design Group, PC
34 Louis Prima Drive
Covington, LA 70433
Phone: 985-249-6180
Fax: 985-249-6190

From: Beezie Landry [mailto:blandry@stirlingprop.com]
Sent: Wednesday, November 06, 2013 10:58 AM
To: Thomas Buckel; Scott Tabary
Subject: FW: Thames Subdivision

See below from the City along with my response.
Beezie Landry
Stirling Properties, L.L.C.
Direct: (985) 246-3781

From: Beezie Landry [mailto:blandry@stirlingprop.com]
Sent: Wednesday, November 06, 2013 10:53 AM
To: 'Tracie Schillace'; 'Josh Taylor'
Cc: 'Robert Morgan'
Subject: RE: Thames Subdivision

We are aware of the 2 water oaks that will need to be removed.

If 12" is too small for the outfall drainage, what is required?

What are the City requirements on catch basins? I thought we were originally proposing 3, but it looks like on the plan they only show the one where we tie into the City on Ellzey.

Are you asking me if the drainage on Ellzey is adequate?

No drainage on front of lots because the elevations show Lot 2A, 3A, & 5A all flow to the backs of the property. A small portion of Lot 4A flows to the road which will go toward the new drainage servitude/catch basin.

I will have to ask on the street build plans.

I believe the existing Entergy pole has a street light and I think that should be adequate.

Beezie Landry
Stirling Properties, L.L.C.
Direct: (985) 246-3781

From: Tracie Schillace [mailto:schillace_tc@hammond.org]
Sent: Wednesday, November 06, 2013 8:45 AM
To: 'Beezie Landry'; Josh Taylor
Cc: Robert Morgan
Subject: FW: Thames Subdivision
Importance: High

Beezie,

Here are Robert Morgan's comments.

Im still waiting on Bill Bodin Comments, I will forward as soon I get them.

Please forward to your design engineer.

Thanks,
Tracie

From: Robert Morgan
Sent: Wednesday, November 06, 2013 8:43 AM
To: Tracie Schillace; Garry Knight; Bill Bodin
Cc: Josh Taylor; Buddy Ridgel; Robert Morgan
Subject: RE: Thames Subdivision

Tracie, here is the list of concerns.

1. Out fall drainage to Ellezy may have two large trees to be mitigated.
2. Out fall drainage is 12" (too small)
3. Out fall drainage needs more catch basins
4. Need to know if drainage along Ellezy is adequate
5. No drainage showed for front of lots
6. Need street build plans
7. Street lights??

robert

From: Tracie Schillace
Sent: Wednesday, November 06, 2013 8:06 AM
To: Robert Morgan; Garry Knight; Bill Bodin

From: [Robert Morgan](#)
To: [Tracie Schillace](#); [Bill Bodin](#); [Garry Knight](#)
Cc: [Josh Taylor](#); ["Beezie Landry"](#); [Robert Morgan](#); [Buddy Ridgel](#)
Subject: RE: Drainage
Date: Thursday, November 07, 2013 11:32:33 AM

Tracie, any culverts with exposed openings will have to be asphalt coated or concrete. All other types must have a protected head wall. I think that additional catch basins on the out fall drainage is necessary.

From: Tracie Schillace
Sent: Thursday, November 07, 2013 10:09 AM
To: Robert Morgan; Bill Bodin; Garry Knight
Cc: Josh Taylor; 'Beezie Landry'
Subject: FW: Drainage
Importance: High

Please see attached revised drawings for Thames Subdivision.

Your prompt attention is appreciated. Please forward any comments as soon as you can.

Thanks,

Tracie Schillace | Planner/GIS Tech

Planning Department



City of Hammond

schillace_tc@hammond.org / Direct 985.277.5652 / Fax 985.277.5638

219 E. Robert St. / Hammond, LA 70401 / www.hammond.org

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From: Beezie Landry [mailto:blandry@stirlingprop.com]
Sent: Thursday, November 07, 2013 9:32 AM
To: Tracie Schillace; Josh Taylor
Subject: Drainage

See attached drainage analysis and revised design drawings which I think address most, if not all, of the



City of Hammond
Water & Sewer Department
Garry Knight, Superintendent

Mayson H. Foster
Mayor

P.O. Box 2788 Hammond, LA 70704-2788 • PH (985) 277-5961 • FAX (985) 277-5958

November 6, 2013

To: Josh Taylor, City Planner

Re: Thames Subdivision

I have reviewed Thames Subdivision utilities below I have listed areas that corrections need to be made to plans.

Water

1. Plans show connecting to a 4" existing water main on Robert Street, the main on Robert Street is only 2" from Linden Street west to site of proposed subdivision.
2. There is a 2" line crossing this property to Ellzey Street that will need to be rerouted.

Sewer

1. No problems found with sewer.

From: [Garry Knight](#)
To: [Tracie Schillace](#)
Cc: ["Beezie Landry"](#); [Josh Taylor](#); [Bill Bodin](#)
Subject: RE: Water and Sewer review Letter for Thames S/D
Date: Wednesday, November 06, 2013 11:26:06 AM

I know the connection points of the 2" PVC line on Ellzey and West Robert , I do not know the exact route that was taken.

From: Tracie Schillace
Sent: Wednesday, November 06, 2013 11:00 AM
To: Garry Knight
Cc: 'Beezie Landry'; Josh Taylor; Bill Bodin
Subject: FW: Water and Sewer review Letter for Thames S/D

FYI

From: Beezie Landry [<mailto:blandry@stirlingprop.com>]
Sent: Wednesday, November 06, 2013 10:46 AM
To: Tracie Schillace
Cc: Josh Taylor; 'Bill Bodin'
Subject: RE: Water and Sewer review Letter for Thames S/D

"There is a 2 inch line crossing this property to Ellzey Street that will need to be re-routed. To date, no one can tell me where this line actually is. In addition, it is through private property that is not part of the right of way. What purpose does it serve and why does it need to be rerouted? And if it needs to be rerouted, where to? There is no existing servitude for this water line. I am not sure why I have to reroute a City line?

Beezie Landry
Stirling Properties, L.L.C.
Direct: (985) 246-3781

From: Tracie Schillace [mailto:schillace_tc@hammond.org]
Sent: Wednesday, November 06, 2013 10:28 AM
To: 'Beezie Landry'
Cc: Josh Taylor; Bill Bodin
Subject: Water and Sewer review Letter for Thames S/D
Importance: High

Beezie,

Please see attached comments for water and sewer.
Please forward to your engineer.

Thanks,
Tracie

From: Garry Knight
Sent: Wednesday, November 06, 2013 10:27 AM
To: Josh Taylor
Cc: Tracie Schillace; Robert Morgan
Subject:



1010 W. Robert St.

- SEWER MAHOLE
- 2" WATER MAIN
- 8" SEWER

- Legend**
- City Tax Parcels
 - Lot of Record
 - Lot Of Record Historical



This Parcel Map is a model of the area requested. IT IS NOT A LEGAL SURVEY.

ORDINANCE NO. 253, C. S.

An ordinance vacating Robert Street between Squares 155 and 156, Cate Addition to the City of Hammond, Louisiana.


WHEREAS, according to the map of the Cate Addition to the City of Hammond recorded in COB 30, page 289, and re-recorded in COB 177, page 129, of the records of Tangipahoa Parish, Louisiana, there is dedicated a street called Robert Street, which street is between Square 155 on the North and Square 156 on the South at the Western extremity of the said Cate Addition.


AND, WHEREAS, the said Robert Street between Squares 155 and 156 has never been opened or used by the public and is a dead end street with no openings at the Western end of the same.

AND, WHEREAS, there is a question as to the title to this street because of the fact that C. E. Cate sold the property on which this street would cover between these two squares to Mrs. Blanche Loranger on August 16, 1887, which was prior to the dedication of the street to the public.

THEREFORE, be it ordained by the Commission Council of the City of Hammond, Louisiana, that Robert Street between Squares 155 and 156 of the Cate Addition to the City of Hammond, be and the same is hereby vacated and abandoned, and the City disclaims all further right, title and interest in and to the same.

BE IT FURTHER ORDAINED, by the Commission Council of the City of Hammond, that this ordinance go into effect from and after its publication, and all ordinances or parts of ordinances in conflict be and they are hereby repealed.


SECRETARY


MAYOR

Adopted February 14, 1950
6





+



SUBDIVISION APPROVAL & LAND DEVELOPMENT APPLICATION
CITY OF HAMMOND

FILING DATE: 8/7/2013

PERMIT# SDF2013-8-3

The next Planning Commission Meeting will be held on 9/5/2013, at 5:00pm in the City Council Chambers, 312 E. Charles Street. Application to be submitted to Zoning Board must meet the 21 day deadline for the next meeting.

Check here if development is a MINOR SUBDIVISION Check here if development is a MAJOR SUBDIVISION
 Check here if development is an ADMINISTRATIVE SUBDIVISION

PARCEL # OHMD00001221 (Please verify address w/City of Hammond GIS Dept.)
2700081177.00 + OHMD000001222
 SITE LOCATION OR LEGAL DESCRIPTION: 1010 W. Robert, Lot 5A, Lot 3A

Where did you get this address? Post Office City Building Dept. 911 Office Other _____

List all current property owners:

PROPERTY OWNER: BARRY T. LANDRY, JR. PHONE (985) 246-3781

ADDRESS: P.O. Box 638 HAMMOND LA 70433
Street or PO Box City State Zip

(List additional PARCEL ADDRESS & PROPERTY OWNER information on reverse side of application.)

APPLICANT/DEVELOPER: BARRY T. LANDRY JR.
First Name MI Last Name

COMPANY NAME: _____ Owner Contractor Other

Applicant Mailing Address: P.O. Box 638 HAMMOND LA 70404
Street or PO Box City State Zip

Applicant Telephone: (985) 246-3781 Applicant Fax: (985) 246-3881

PERMIT INFO-Additional Check if you will be applying for: ANNEXATION REZONING VARIANCE

of Acres: 2.21 # of Proposed Lots: 4

NAME OF DEVELOPMENT: THAMES SUBDIVISION

EXISTING ZONING: AL B1 B2 C1 C2 C3 C4 C4A H I L R4 R5 R5S R8 (R1) RA RP RS S

CURRENT USE OF LAND: RESIDENTIAL

INTENDED USE OF LAND:
 Single Family Residential [] Condominium/Townhouse [] Multi-Family [] Commercial
 Industrial [] Other (explain) _____

DESIGN ENGINEER/ARCHITECT SPANGLER ENGINEERING PHONE (985) 542-8665

Will [] PROCEDURE "A" (with bond) OR [] PROCEDURE "B" (without bond) BE USED?

ATTENTION: APPLICANT

NOTE: Six (6) copies of the complete plans and specifications and seven (7) additional copies of any property plat containing information pertaining to the attached check list shall be made part and submitted with the application for preliminary review.

ALL INFORMATION ON THIS APPLICATION MUST BE COMPLETE AND ALL FEES PAID BEFORE THIS APPLICATION WILL BE ACCEPTED ON THE AGENDA FOR THE CITY OF HAMMOND PLANNING & ZONING COMMISSION.

x	<u>[Signature]</u>	<u>8/5/13</u>
	APPLICANT SIGNATURE	DATE
x	<u>[Signature]</u>	<u>8/6/13</u>
	OWNER SIGNATURE	DATE
x	_____	_____
	CITY PLANNER	DATE

***** OFFICIAL USE *****

Fees for Preliminary and Final Review: \$ 300.00 + \$5.00 for Each Lot or Building = TOTAL DUE \$ 320.00
 [Fees for Minor Subd. Review:] \$50.00 + \$3.00 for each lot or building = TOTAL DUE \$ _____

AMOUNT PAID: \$ 320.00 CHECK# 1146 PAID CASH DATE PAID 8/7/2013

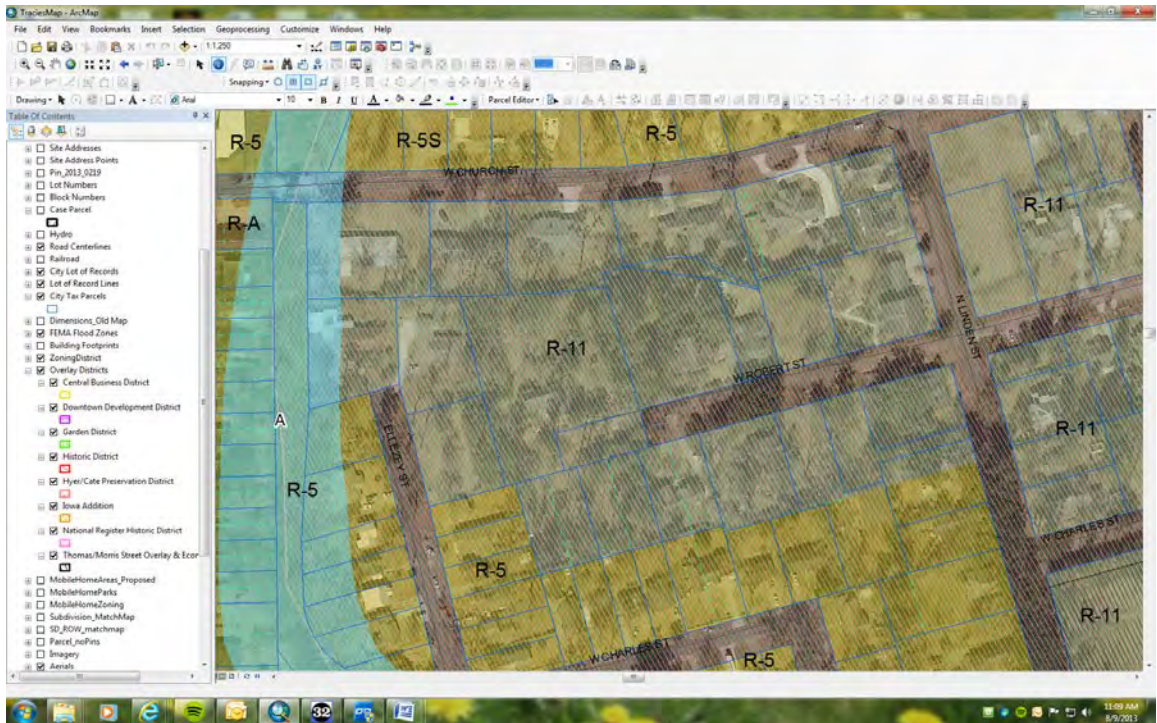
AMOUNT PAID: \$ _____ CHECK# _____ PAID CASH DATE PAID _/_/

PROPERTY INFORMATION SHEET

- | | | | | | |
|--------------------------|------------------|--|--------------------------|-------|------------|
| <input type="checkbox"/> | Type of Permit | SDF | <input type="checkbox"/> | Date: | 08/09/2013 |
| <input type="checkbox"/> | Permit/Case # | SDF2013-8-3 | | | |
| <input type="checkbox"/> | Parcel # | OHMD000001221; 2706681177.00; OHMD000001222 | | | |
| <input type="checkbox"/> | Address | 1010 W. Robert ST; W. Robert St | | | |
| <input type="checkbox"/> | Owner | Barry T. & Jenny Landry Jr.; B&L Partners LLC | | | |
| <input type="checkbox"/> | Assessment # | 6268048; 1512706;6346243 | | | |
| <input type="checkbox"/> | Zoning | R11 | | | |
| <input type="checkbox"/> | Overlay District | Hyer-Cate Overlay | | | |
| <input type="checkbox"/> | Flood Zone | X | | | |
| <input type="checkbox"/> | Flood Way | NO | | | |
| <input type="checkbox"/> | Holds/Taxes | NONE/NONE | | | |
| <input type="checkbox"/> | Bldg Tax Value | (x 10% Res/15% Cml) | 50% = | | |

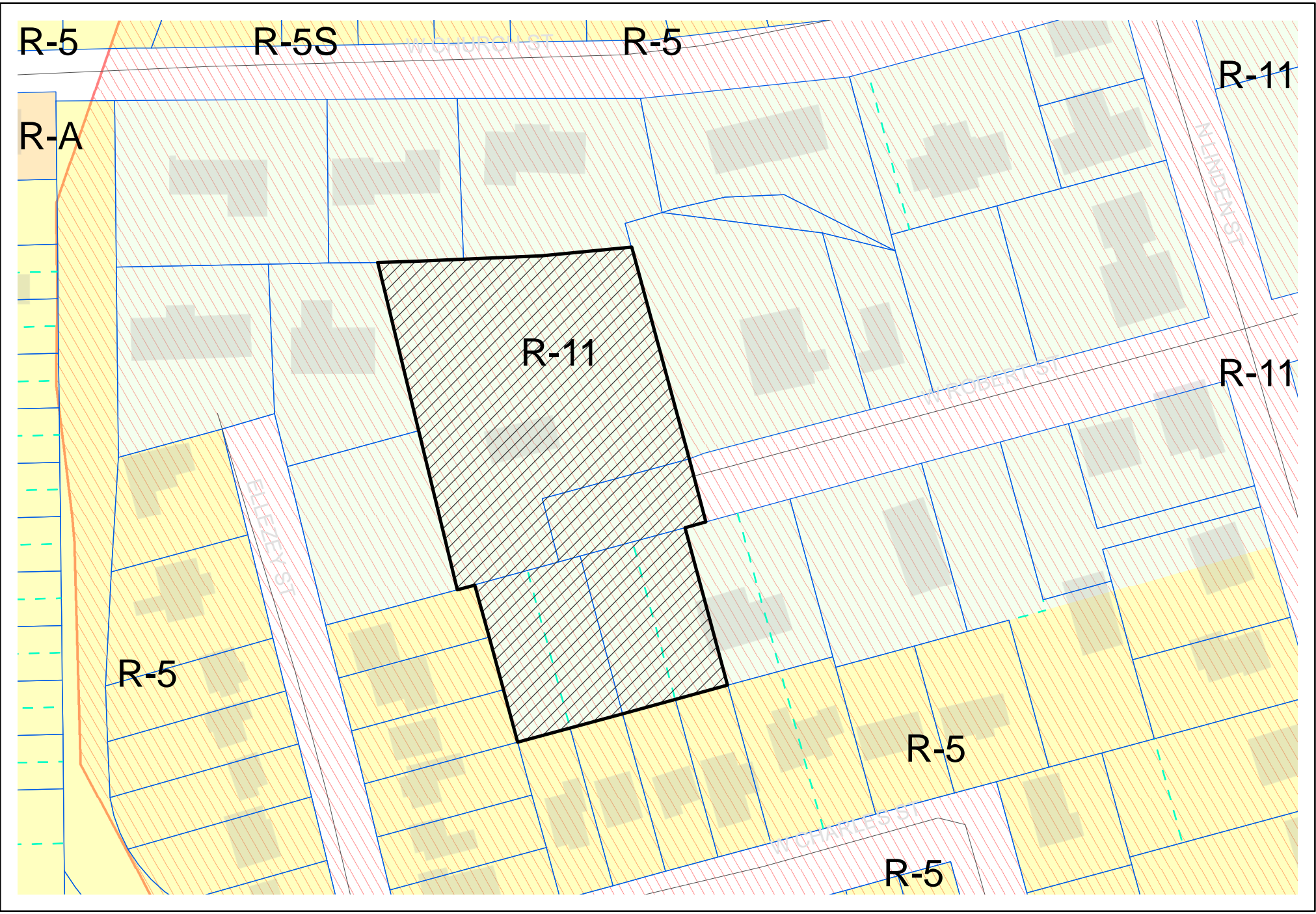
(Renovations/additions 50% or more of the bldg value for properties in a flood zone-see regulations)

Screen
Print



Preparer Initials _____

Reviewer Initials _____

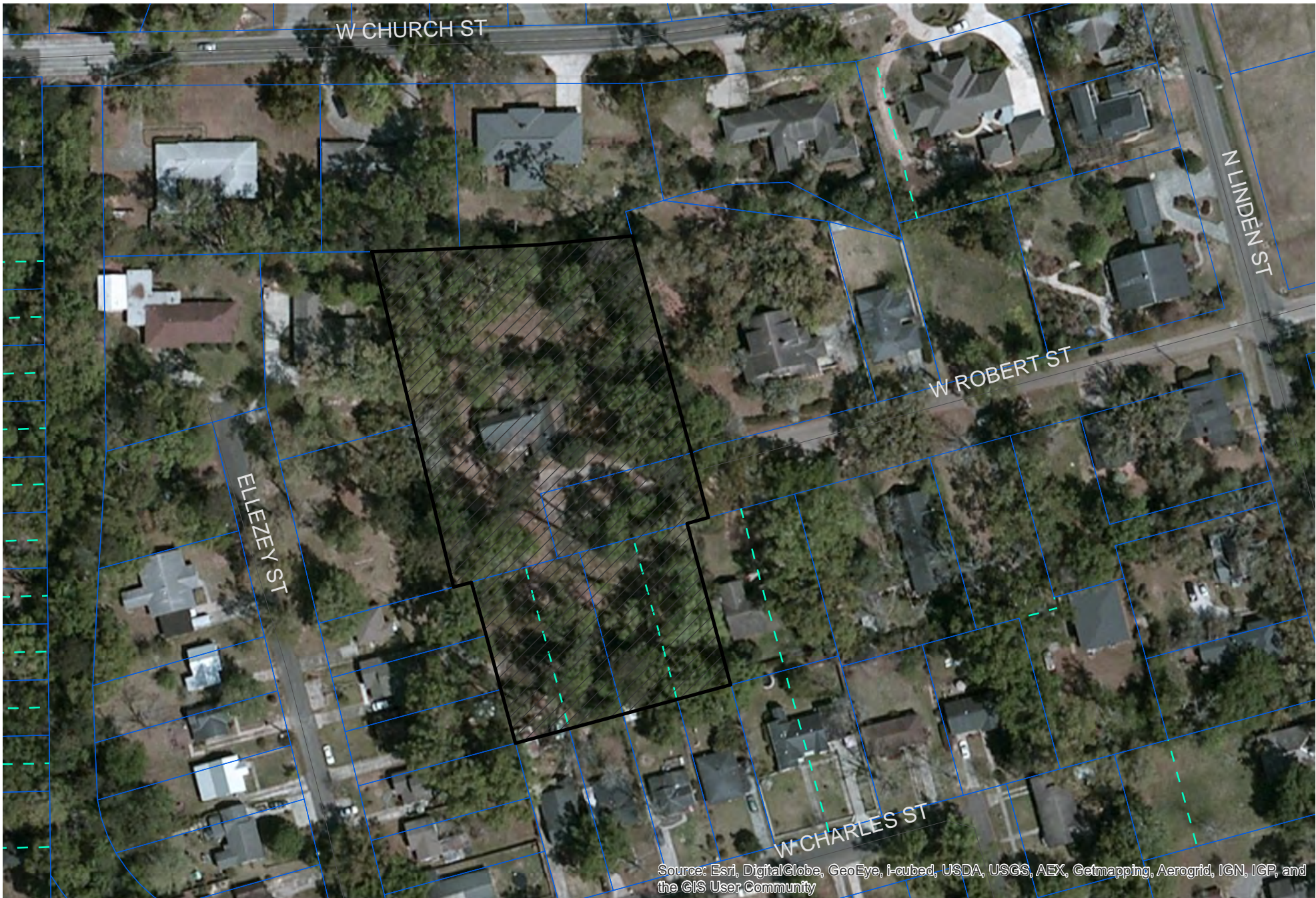


This Parcel Map is a model of the area requested. IT IS NOT A LEGAL SURVEY.

1010 W. Robert St.

Amended Thames Major Subdivision - SDF2013-8-3




- Legend**
-  Case Parcel
 -  City Tax Parcels
 -  Lot of Record
 -  Hyer/Cate Preservation District



This Parcel Map is a model of the area requested. IT IS NOT A LEGAL SURVEY.

1010 W. Robert St.

Amended Thames Major Subdivision - SDF2013-8-3

- Legend**
-  Case Parcel
 -  City Tax Parcels
 -  Lot of Record
 -  Lot Of Record Historical