

# Downtown Development District Building Renovations



## ACCESSIBILITY GENERAL NOTES:

- ACCESSIBLE ENTRANCES TO THE BLDG. SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY
- EXTERIOR EXITS, THAT ARE LOCATED ADJACENT TO ACCESSIBLE AREAS & WITHIN 6' OF ADJACENT GROUND LEVEL, SHALL BE ACCESSIBLE.
- ACCESSIBLE RAMPS REQ. BY ANSI A117.1 SHALL NOT HAVE SLOPES THAT EXCEED 1/12 FEET IN 12 FEET AND SHALL HAVE HANDRAILS BOTH SIDES, EVEN IF NOT SHOWN ON THE DRAWINGS.
- THE SURFACE OF RAMPS AND GROUND SURFACES SHALL BE ROUGHENED OR SHALL BE OF SLIP RESISTANT MATERIALS.
- AN ACCESSIBLE ROUTE OF TRAVEL 3FT. WIDE MIN. MUST BE PROVIDED TO ALL PORTIONS OF THE BLDG. AND BETWEEN THE BLDG. AND THE PUBLIC WAY.
- THRESHOLD MUST BE 1/2" IN HEIGHT OR LESS.
- ALL ACCESSIBLE PARKING SPACES SHALL HAVE A SLOPE NOT EXCEEDING 1:50.
- ALL ACCESSIBLE PARKING SPACES SHALL BE OUTLINED ON ALL FOUR SIDES, HAVE A CONTRASTING COLOR AND THE INTERNATIONAL WHEELCHAIR SYMBOL ON THE GROUND WITHIN THE SPACE.
- ALL ACCESSIBLE PARKING SPACES SHALL HAVE A SIGN (MIN 5 FT. ABOVE FINISH GRADE IN FRONT OF THE SPACE.) WHICH INCLUDES THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- SIGNS DESIGNATING PERMANENT ROOMS AND SPACES SHALL MEET ACCESSIBILITY REQUIREMENTS.
- ALL ALARMS SHALL MEET ACCESSIBILITY REQUIREMENTS.
- ACCESSIBLE ROUTE SHALL BE WITHOUT STEPS OR CHANGES IN LEVEL GREATER THAN 1/2" WITHOUT AN APPROVED RAMP.
- ACCESSIBLE ROUTES SHALL SERVE AS EXITS OR CONNECT TO AREAS OF RESCUE ASSISTANCE.

## PROJECT INDEX:

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- G-002 ADA DETAILS
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### ELECTRICAL

## PROJECT DATA:

SCOPE: RENOVATION OF THE DOWNTOWN DEVELOPMENT DISTRICT BUILDING WILL PROVIDE TWO PUBLIC RESTROOMS ALONG WITH ADDITIONAL WORK STATIONS AND STORAGE AREAS.

OWNER: CITY OF HAMMOND DOWNTOWN DEVELOPMENT DISTRICT  
2 W. THOMAS ST.  
HAMMOND, LA 70401  
985-277-5681

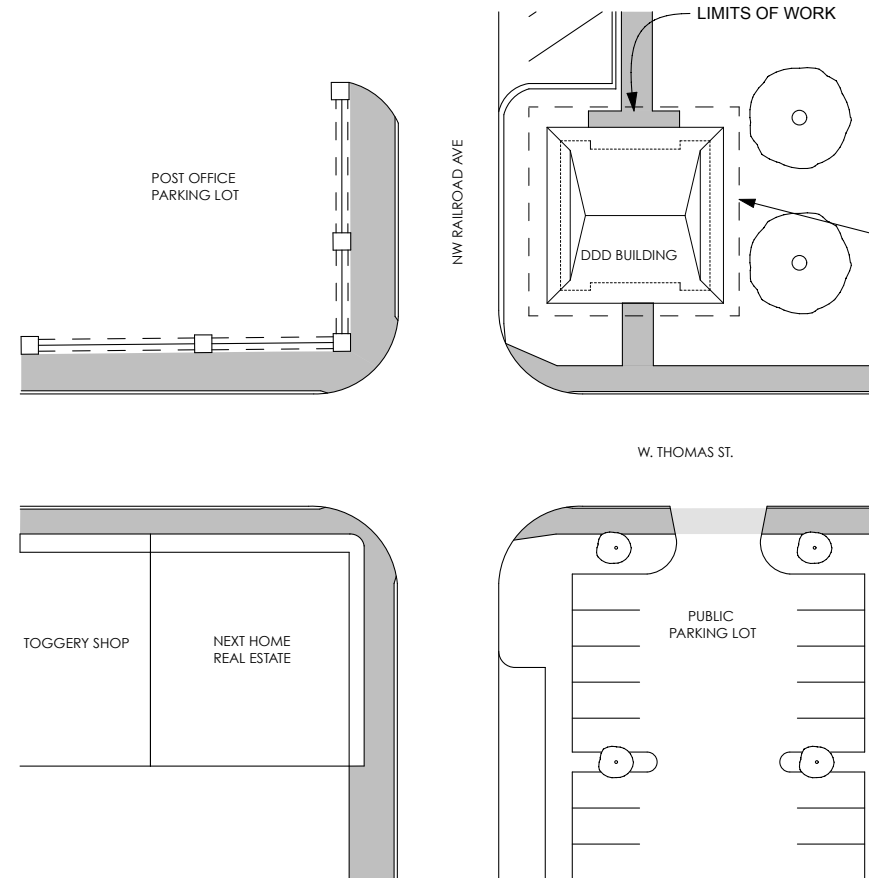
ARCHITECT: PISTORIUSASSOCIATES, LLC  
ATTN: TOM PISTORIUS, AIA  
P.O. BOX 673  
HAMMOND, LA 70401  
PHONE - 985-542-4287

AREA: BUILDING: 798 SF

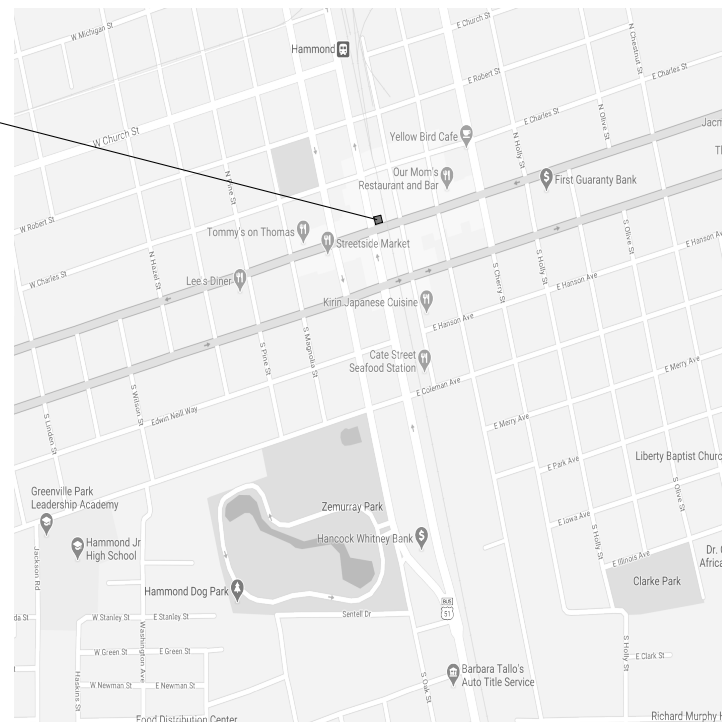
CODE: 2015 IBC (INTERNATIONAL BUILDING CODE)  
2015 NFPA LIFE SAFETY CODE

## PROJECT GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE.
- ALL WORK AND MATERIAL SHALL BE REGARDED AS NEW UNLESS SPECIFICALLY INDICATED AS "EXISTING" OR "(E)" ON THE DRAWINGS.
- CONTRACTOR SHALL COORDINATE ALL TRADES AND METHODS OF CONSTRUCTION AS REQUIRED FOR COMPLETION OF THE PROJECT WITH THE INTENT OF THESE DOCUMENTS.
- ALL MATERIALS AND UNFINISHED SURFACES EXPOSED TO VIEW SHALL BE PAINTED UNLESS FACTORY PRE-FINISHED, NOTED OTHERWISE OR DIRECTED BY THE ARCHITECT.
- NO UTILITIES, PLUMBING, PIPING, CONDUIT, ETC. SHALL BE EXPOSED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- SHOULD DIMENSIONS BE MISSING OR CONFLICTING, NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH RELATED WORK.
- CONTRACTOR SHALL VERIFY LOCATIONS OF UTILITIES PRIOR TO EXCAVATING, TRENCHING, ETC., AND SHALL REPAIR OR REPLACE UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED DURING CONSTRUCTION.
- SECURITY AND SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY. LIMITS OF CONSTRUCTION SHALL BE COMPLETELY FENCED AND SECURED DURING CONSTRUCTION.
- NO ASBESTOS SHALL BE USED OR INCORPORATED INTO THE PROJECT IN ANY FORM.
- SEPARATE DISSIMILAR METALS AS THEY OCCUR AND/OR PER MANUFACTURER'S RECOMMENDATIONS.
- APPLY SEALANT AT INTERSECTIONS OF ALL DISSIMILAR MATERIALS.
- NOT USED
- BRACE INTERIOR NON-BEARING WALLS TO STRUCTURE PER ARCHITECTURAL DRAWINGS.
- PROVIDE INSULATION AT ALL INTERIOR WALLS AND CEILING/ROOF ASSEMBLIES.
- ALL EXTERIOR OPENINGS, WINDOWS AND DOORS SHALL BE FLASHED & COUNTER-FLASHED.
- WATER RESISTANT GYP. BD. TO BE USED AT TUBS AND SHOWERS, MIN. 72" HIGH. WALL FINISH TO COMPLY WITH R.307.2.
- UNLESS NOTED OTHERWISE, ELECTRICAL CONDUITS, PLUMBING LINES, AND MECHANICAL PIPING SHALL BE CONCEALED AND FRAMING SHALL BE OF ADEQUATE DIMENSION TO ACCOMPLISH THIS RESULT WITHOUT UNNECESSARY CHANGES IN THE WALL PLANE.
- INTERIOR FINISH SURFACES SHALL NOT BE INSTALLED PRIOR TO HAVING THE BUILDING WEATHER TIGHT.
- DRYER VENT/CLOTHES DRYER ARE TO BE PROVIDED WITH AN EXHAUST DUCT NOT TO EXCEED 25 FEET IN LENGTH. THE MAXIMUM ALLOWED LENGTH IS REDUCED BY 2.5 FT. FOR EACH 45 DEGREE BEND AND 5 FT FOR EACH 90 DEGREE BEND.
- DOORS USED FOR BEDROOM EGRESS SHALL NOT BE KEYPED ON THE INTERIOR SIDE.
- PROVIDE 2X6 BLOCKING FOR ALL WALL MOUNTED HARDWARE AND ACCESSORIES.
- NOTES AND LEGENDS ARE TYPICAL FOR ALL FLOOR PLAN SHEETS, AND MAY NOT APPLY TO EACH SHEET.
- REFERENCE STRUCTURAL FOR ITEMS NOT SHOWN. COORDINATE AS REQUIRED INCLUDING NECESSARY FRAMING, BLOCKING, ETC.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF ANY CABINETS, FRAMES, STRUCTURAL ITEMS ETC.



**SITE PLAN**  
NOT TO SCALE



**VICINITY MAP**  
NOT TO SCALE



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**Downtown Development District**  
**Building Renovations**  
**2 West Thomas Street**  
**Hammond, Louisiana 70401**

project number

**pa\_2102**

date of issue

project phase

**Design Development**

revision no. revision date

drawn by

**M. Miller**

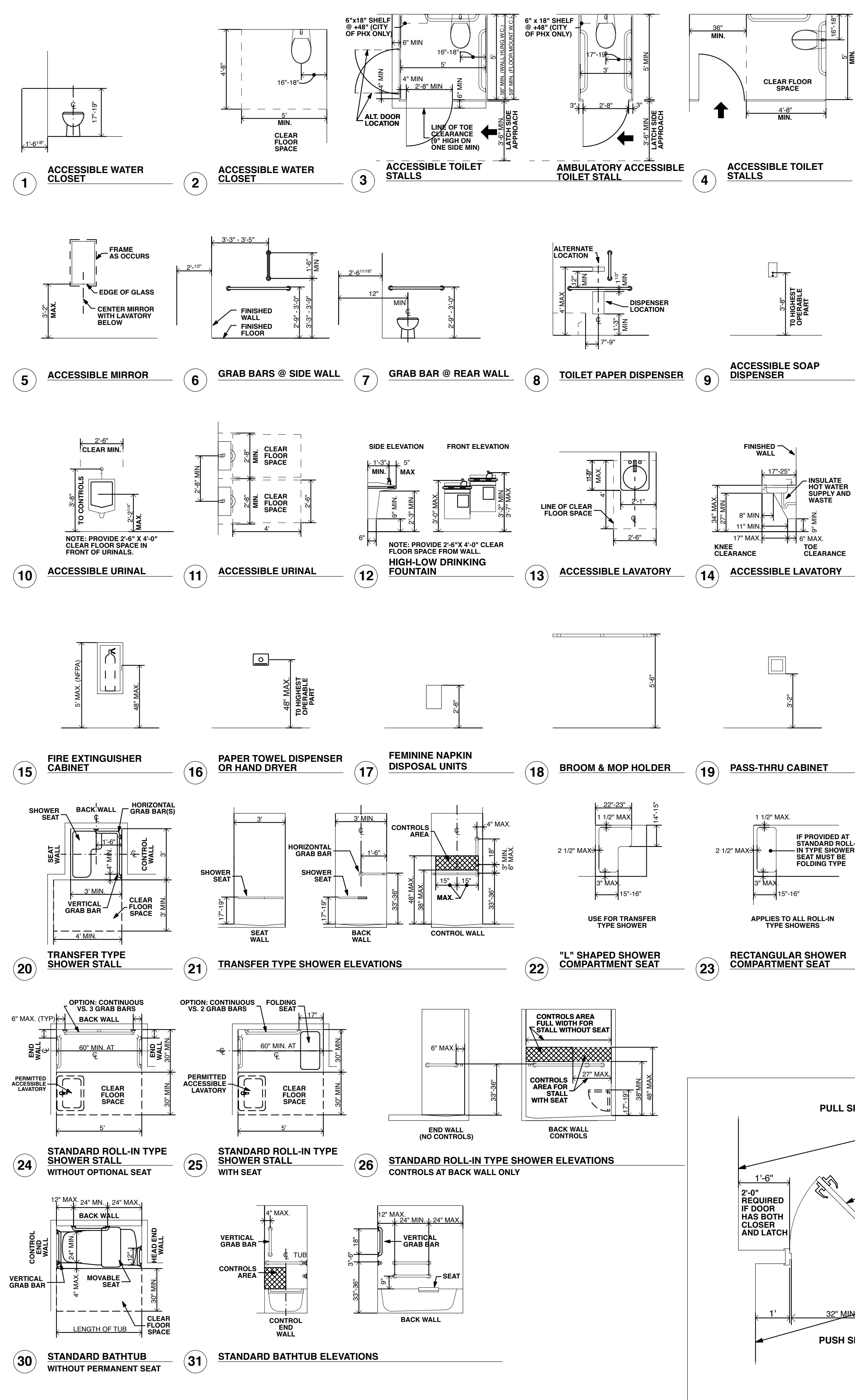
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drawing title

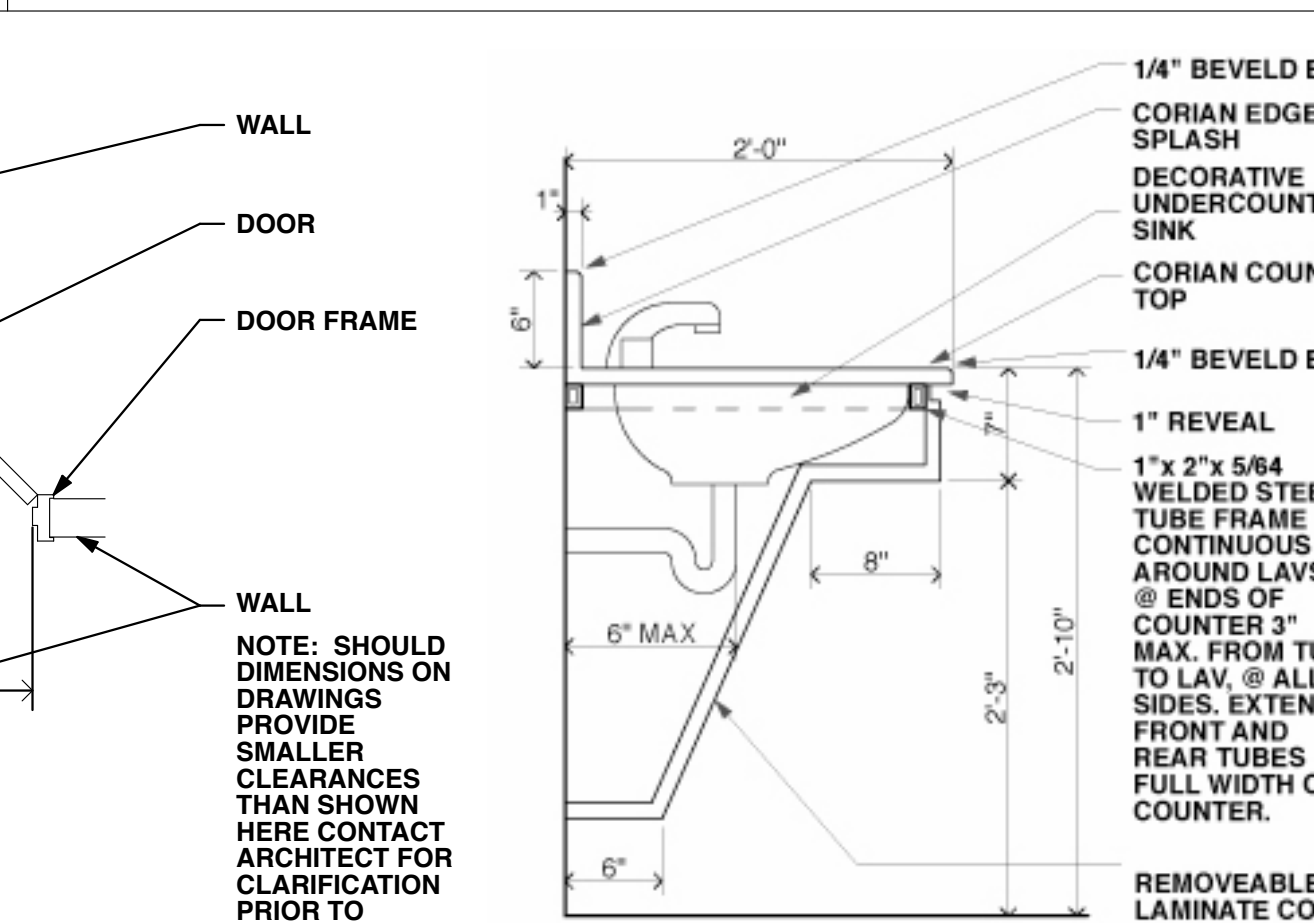
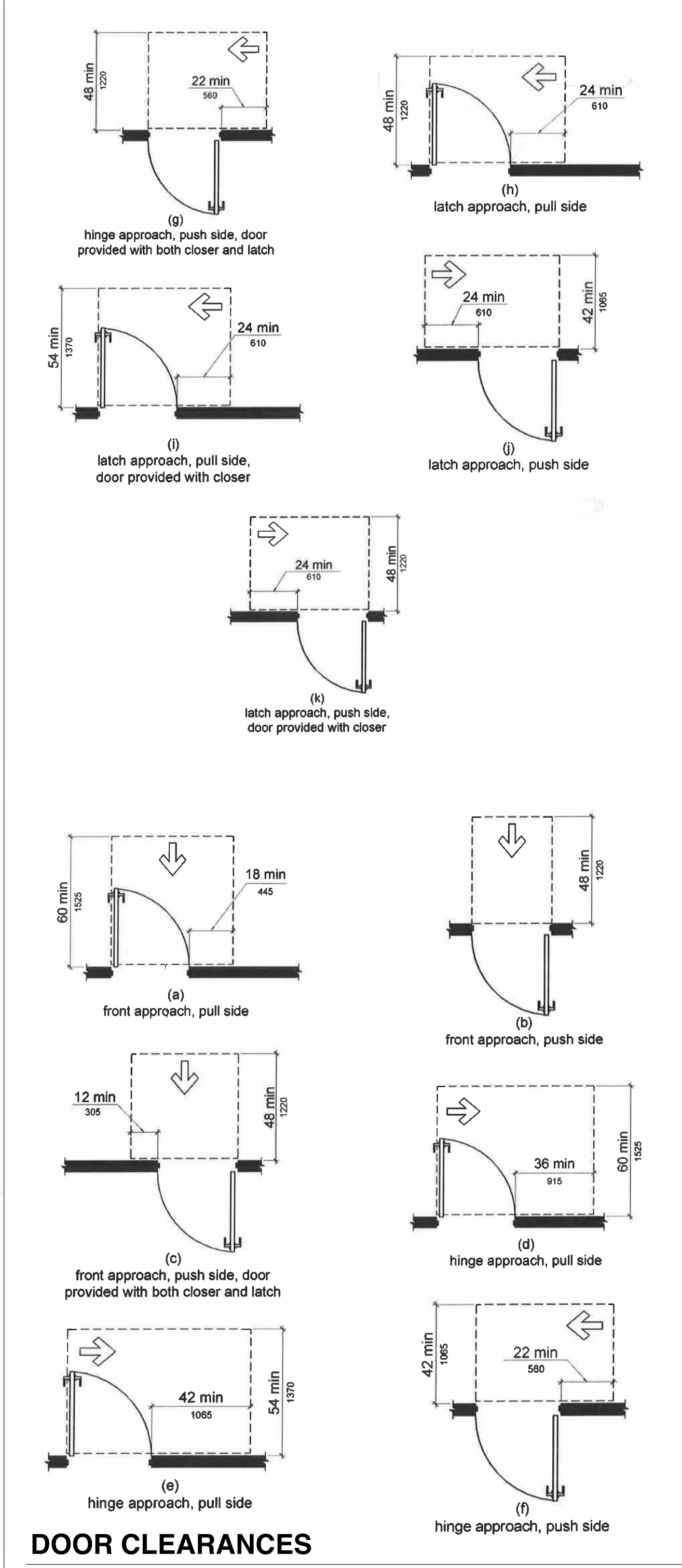
**GENERAL NOTES**

drawing no.

**G-001**

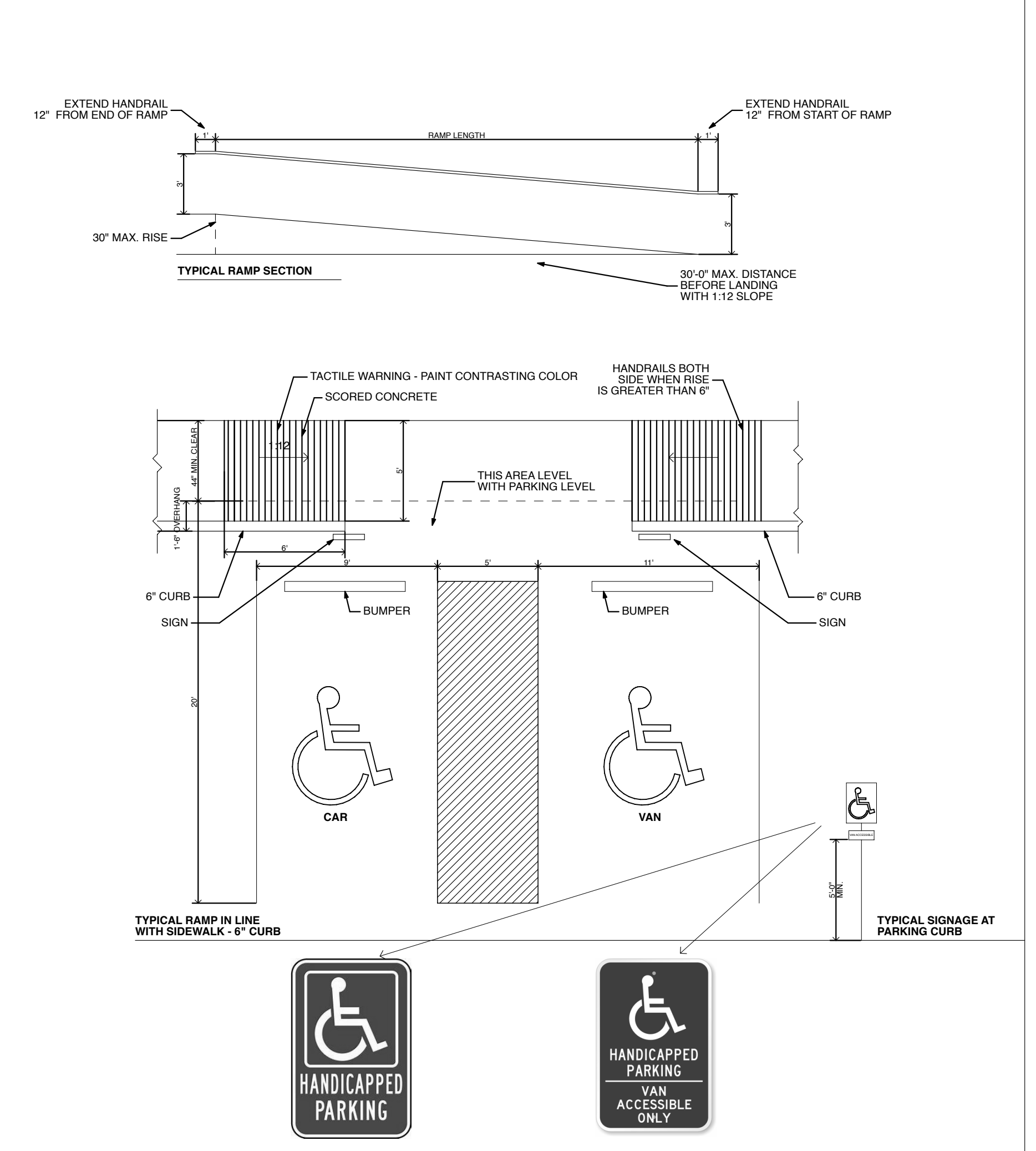


**STANDARD MOUNTING HEIGHTS**

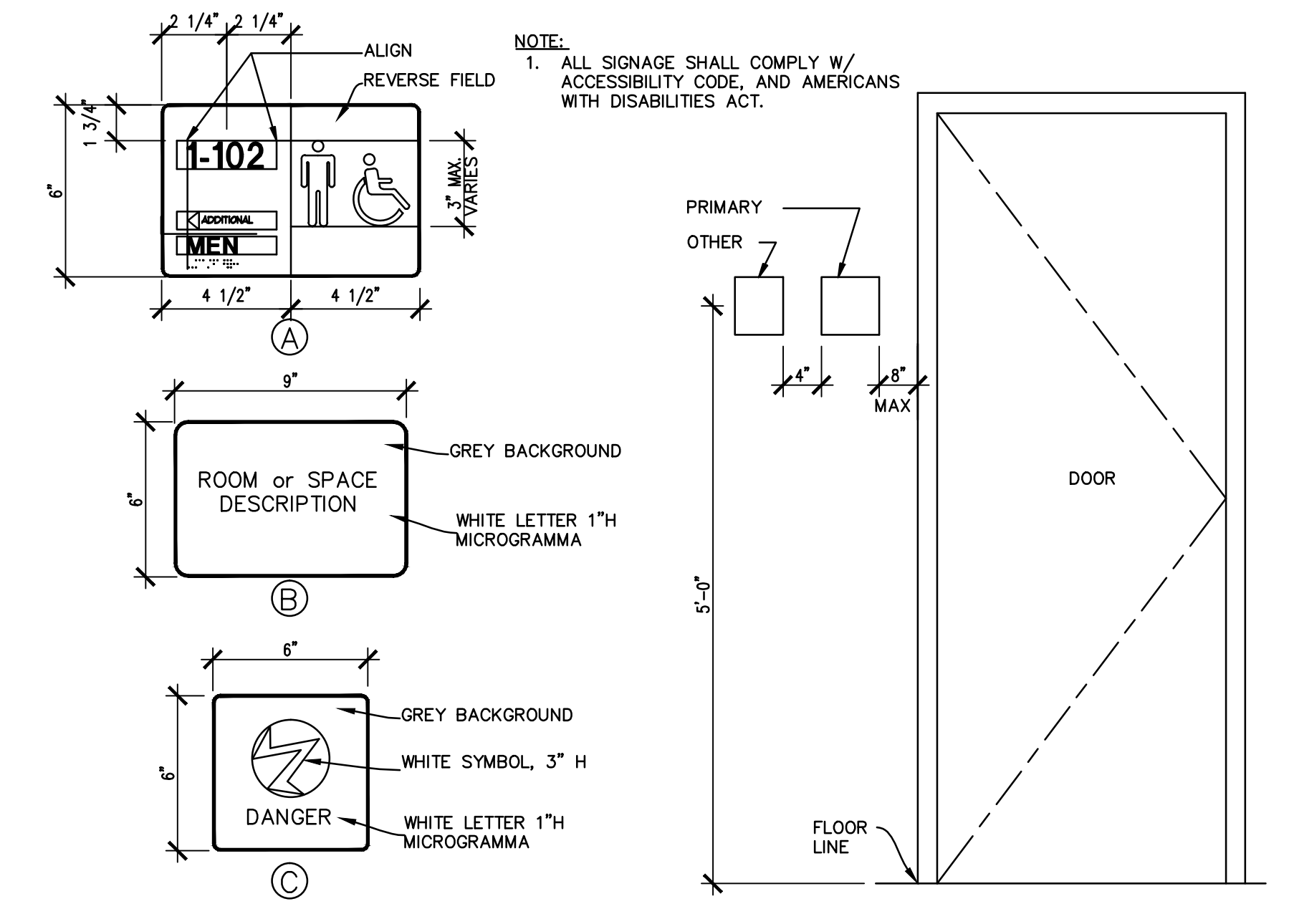


**DOOR CLEARANCES FOR ACCESSIBILITY**

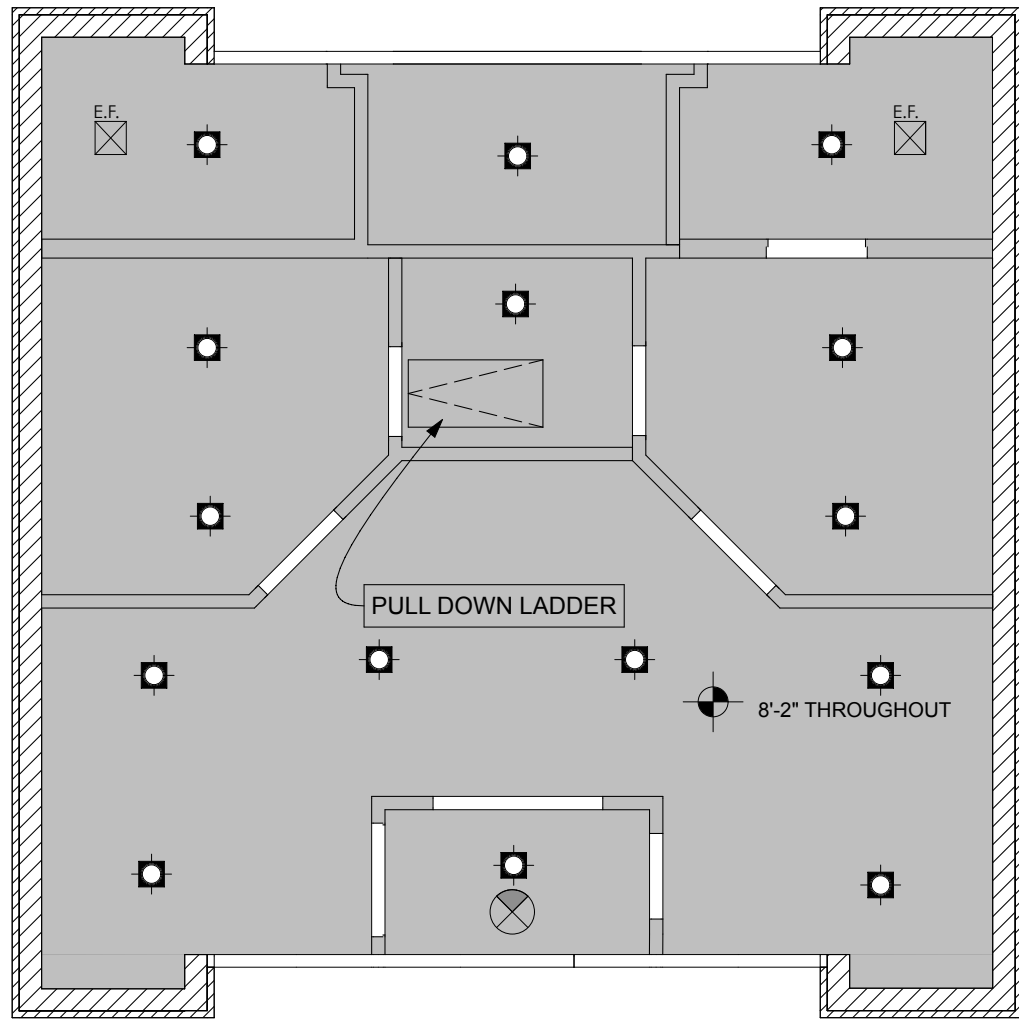
**WALL HUNG LAVATORY FOR ACCESSIBILITY**



**TYPICAL PARKING LAYOUT FOR ACCESSIBILITY**

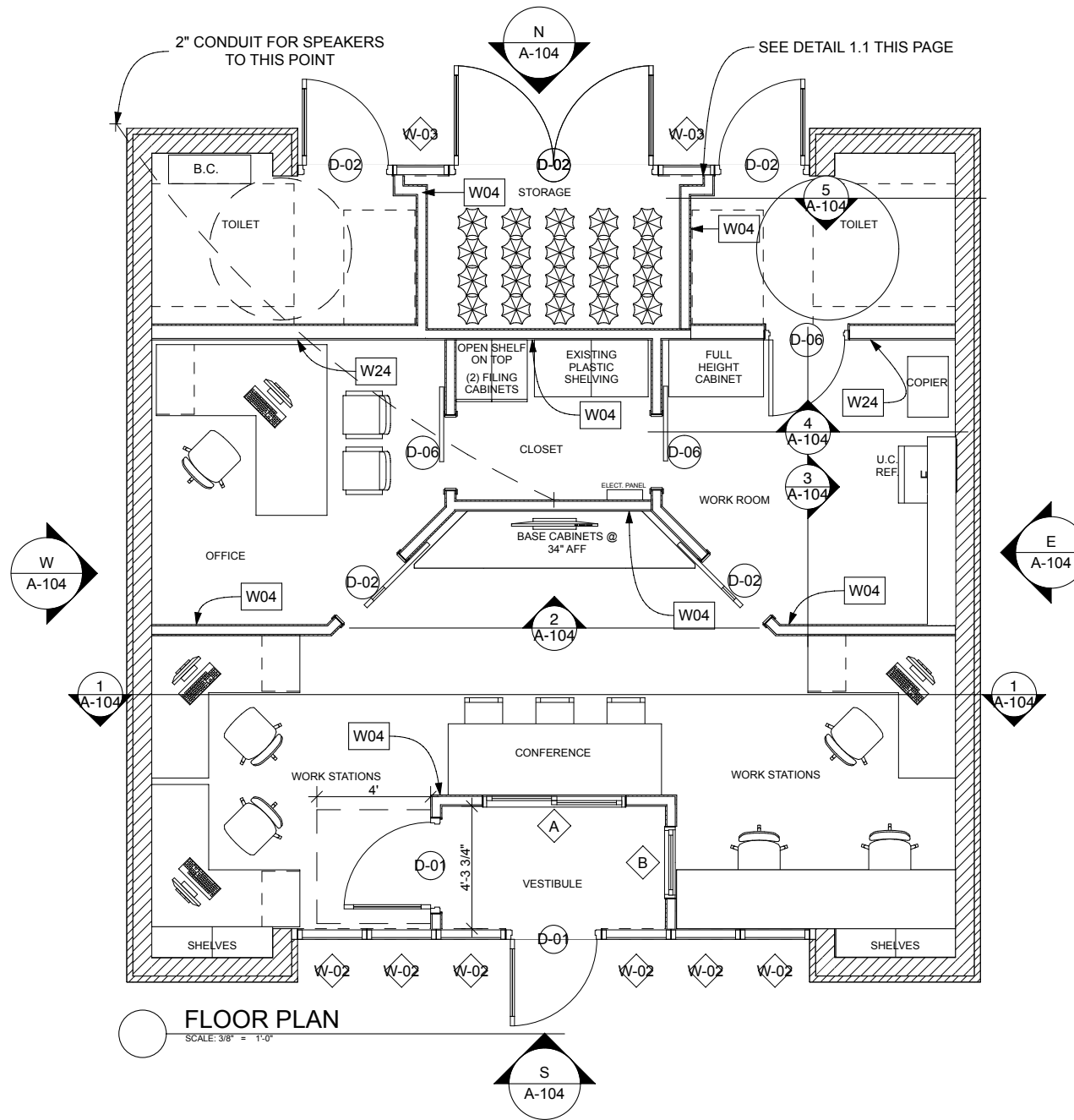


**TYPICAL HANDICAPPED SIGNAGE**



**REFLECTIVE CEILING PLAN**

SCALE: 3/8" = 1'-0"



**FLOOR PLAN**

SCALE: 3/8" = 1'-0"

**FLOOR PLAN GENERAL**

**NOTES:**

- A. KEYNOTES AND LEGENDS ARE TYPICAL FOR ALL FLOOR PLAN SHEETS, AND MAY NOT APPLY TO EACH SHEET.
- B. INTERIOR DIMENSIONS ARE TO FACE OF STUD AND CENTERLINE OF COLUMNS UNLESS NOTED OTHERWISE.
- C. EXTERIOR DIMENSIONS ARE TO FACE OF STUD AND CENTERLINE OF COLUMNS.
- D. SEE ENLARGED FLOOR PLANS AND DETAILS FOR SPECIFIC LOCATIONS OF PLUMBING FIXTURES.
- E. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF ANY CABINERY, FRAMES, STRUCTURAL ITEMS ETC.
- F. PROVIDE PAINTED ACCESS PANELS IN WALLS AND CEILINGS AT CONCEALED ITEMS, SUCH AS VALVES, SHOCK ABSORBERS, CONTROLS, SWITCHES, ETC., AND ANY OTHER ITEMS WHICH MAY REQUIRE ACCESS NOT OTHERWISE PROVIDED. ACCESS PANEL LOCATIONS MAY NOT ALWAYS BE SHOWN ON THE PLANS. IT IS THE SUBCONTRACTORS RESPONSIBILITY TO DETERMINE LOCATIONS ACCESS PANEL LOCATIONS. REVIEW REFLECTED CEILING PLAN TO DETERMINE LOCATION OF GYPSUM BOARD CEILINGS WHERE ACCESS PANELS TYPICALLY REQUIRED.
- G. COORDINATE WALLS WITH COLUMNS AND OTHER ENCASED ITEMS. COLUMNS ARE TO BE CONTAINED WITHIN WALLS. THE FRAMING CONTRACTOR SHALL INCREASE STUD SIZE TO ACCOMMODATE STEEL COLUMNS, DRAIN LEADERS, SOIL PIPES, ELECTRICAL PANELS ETC., CONTINUOUS ALONG THE FULL LENGTH OF THE WALL AS REQUIRED, UNLESS NOTED OTHERWISE.
- H. ALL GUARDRAILS AND HANDRAILS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE 2006 I.B.C., AMERICANS WITH DISABILITIES ACT GUIDELINES. THE MOST STRINGENT SHALL PREVAIL. ALL GUARDRAILS MAY NOT BE SHOWN ON PLANS. CONTRACTOR SHALL REVIEW ALL POSSIBLE REQUIREMENTS IN THE FIELD.
- I. VERIFY AND COORDINATE ALL REQUIREMENTS FOR OWNER FURNISHED ITEMS, PRIOR TO PERFORMANCE OF ANY WORK THAT IS TO ACCOMMODATE AND INTERFACE WITH SUCH ITEMS.
- J. PROVIDE MINIMUM CLEARANCES AT ALL DOORS PER DETAILS.
- K. NOT USED.
- L. SEAL ALL PENETRATIONS IN FIRE RATED FLOORS AND WALLS IF REQUIRED.
- M. EXTEND WALL INSULATION FROM FLOOR LINE TO MEET ROOF INSULATION. EXTERIOR WALL INSULATION SHALL BE COMPLETELY COVERED BY 5/8" TYPE 'X' GWB TO 1'-0" ABOVE CEILING UNLESS NOTED OTHERWISE. CAREFULLY CUT AROUND ALL PENETRATIONS. ALL SECTIONS OF WALL INSULATION CUT OR REMOVED FOR CONDUIT RUNS, ETC., SHALL HAVE THE INSULATION REPLACED OR BE PACKED WITH BATT INSULATION.
- N. FURNISH AND INSTALL HANDICAP ACCESSIBLE GRAB BARS AT TOILETS. PROVIDE IN-WALL BACKING BEHIND GRAB BARS PER MANUFACTURER RECOMMENDATIONS; PROVIDE 18 GAUGE METAL STUDS BEHIND FOLDING SEATS.

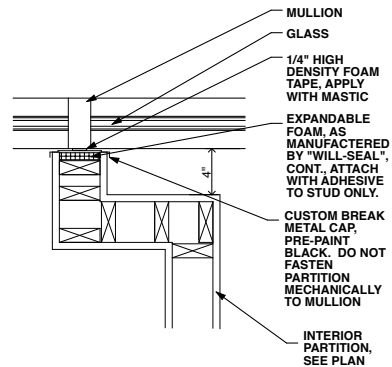
**FLOOR PLAN LEGEND:**

- NEW 2X4 WOOD STUD @ 16" O.C. WALL WITH 5/8" GYPSUMBOARD EACH SIDE. USE 2X6 WOOD STUDS BEHIND ALL TOILET WALLS.
- EXISTING INTERIOR CMU BLOCK WALLS
- EXISTING EXTERIOR BRICK WALLS
- NEW BABY CHANGING TABLE
- NEW WALL HUNG ADA SINK - SEE DETAILS ON G-002
- NEW ADA TOILET WITH GRAB BARS - SEE DETAILS ON G-002

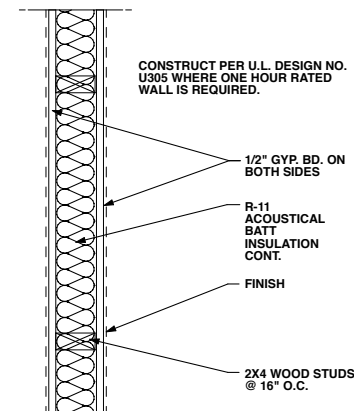
**REFLECTED CEILING PLAN LEGEND:**

- RECESSED CAN LIGHT FIXTURE
- 5/8" GYP. BOARD
- EMERGENCY EXIT SIGN AND BUILT-IN EMERGENCY LIGHT
- CEILING ELEVATION MARKER

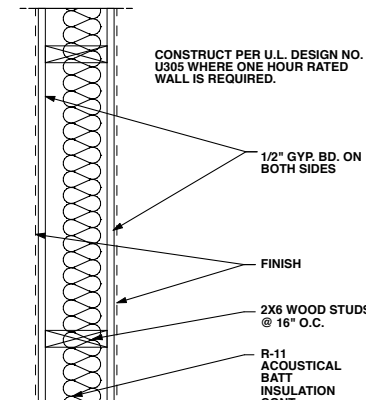
- DOOR LABEL - SEE SCHEDULE ON A-XXX
- WINDOW LABEL - SEE SCHEDULE ON A-XXX
- SECTION MARKER
- ELEVATION MARKER
- FLOOR PLAN NOTES
- WALL ASSEMBLY DETAIL



**1.1 OFFSET WALL @ MULLION**



**W 04 WOOD STUD PARTITION**



**W 24 WOOD STUD PARTITION AT 16" O.C.**



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 2 West Thomas Street  
 Hammond, Louisiana 70401

project number  
**pa 2102**  
date of issue

project phase  
**Design Development**  
revision no. revision date

drawn by  
**M. Miller**

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**FLOOR/RCP PLANS**  
drawing no.

**A-101**



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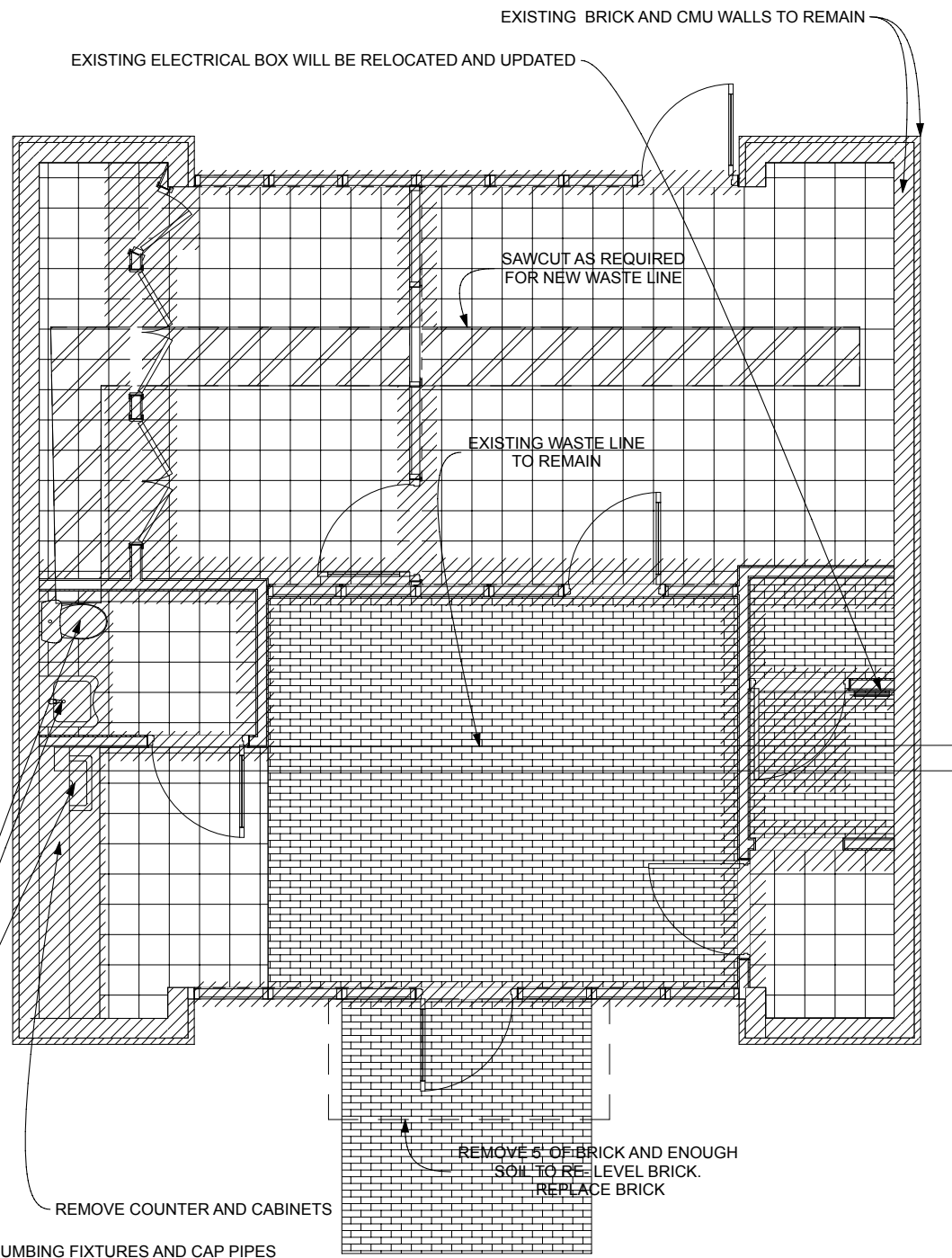
project phase  
**Design Development**  
revision no. revision date

drawn by  
**M. Miller**

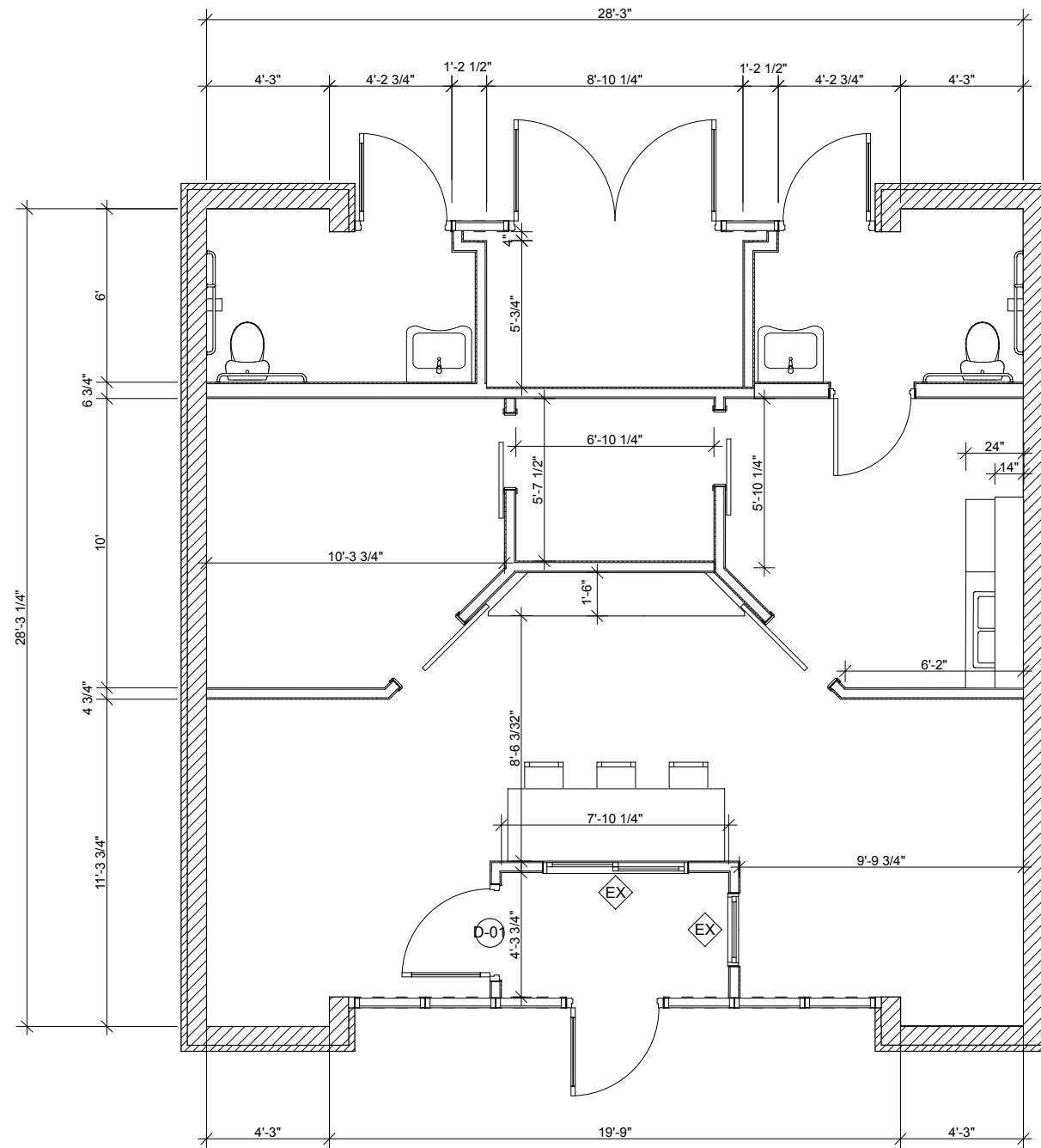
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**DEMO/DIMENSION PLANS**  
drawing no.

**A-102**



DEMO PLAN  
SCALE: 3/8" = 1'-0"



DIMENSION PLAN  
SCALE: 3/8" = 1'-0"



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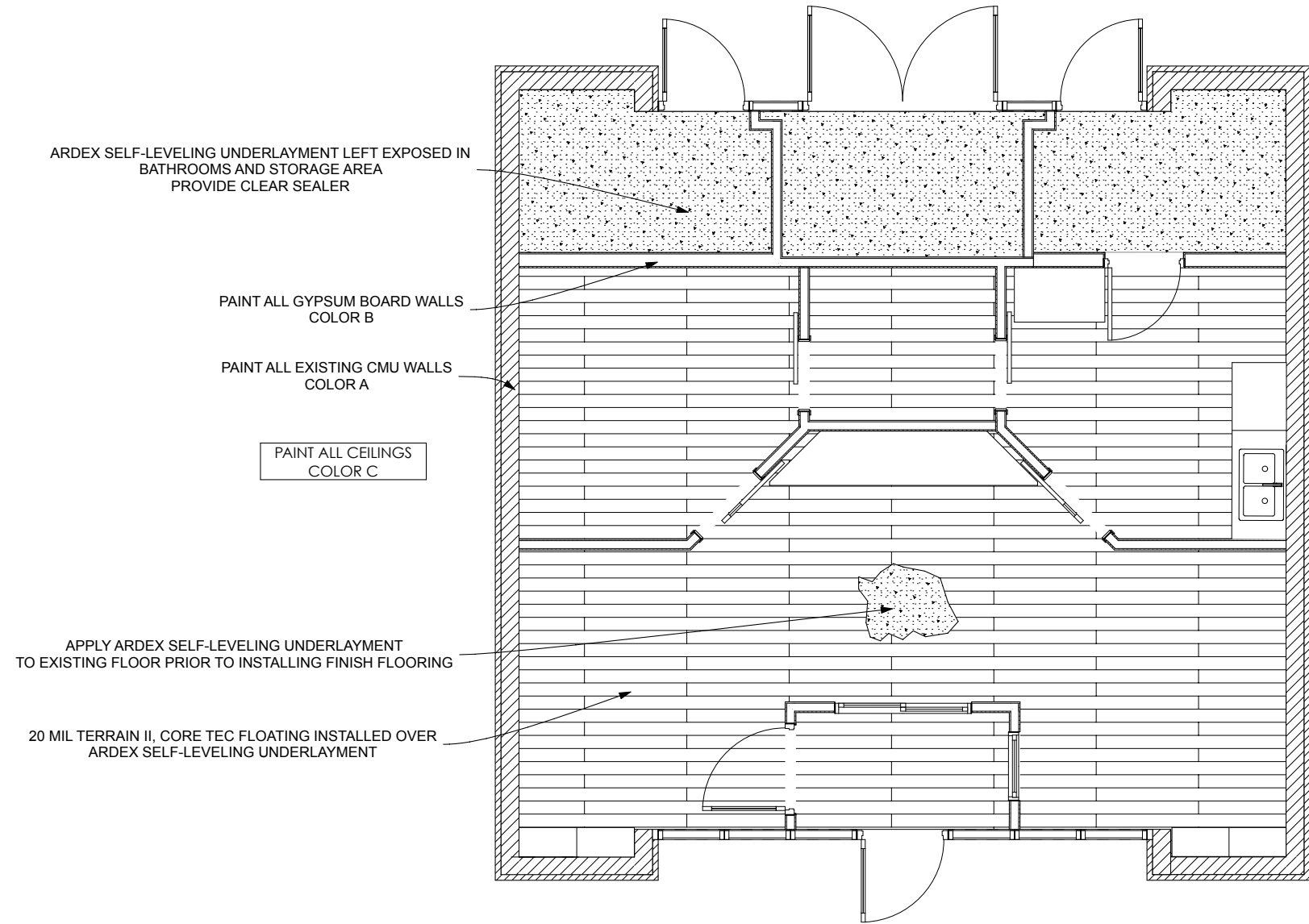
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**FINISH PLAN**  
drawing no.

**A-103**



COLOR AND MATERIAL SCHEDULE:

COLOR A: \_\_\_\_\_

COLOR B: \_\_\_\_\_

COLOR C: \_\_\_\_\_

PLASTIC LAMINATE COUNTER TOP

P.L.1: \_\_\_\_\_

PLASTIC LAMINATE BASE CABINETS

P.L.2: \_\_\_\_\_

**FLOOR FINISH PLAN**  
SCALE: 3/8" = 1'-0"



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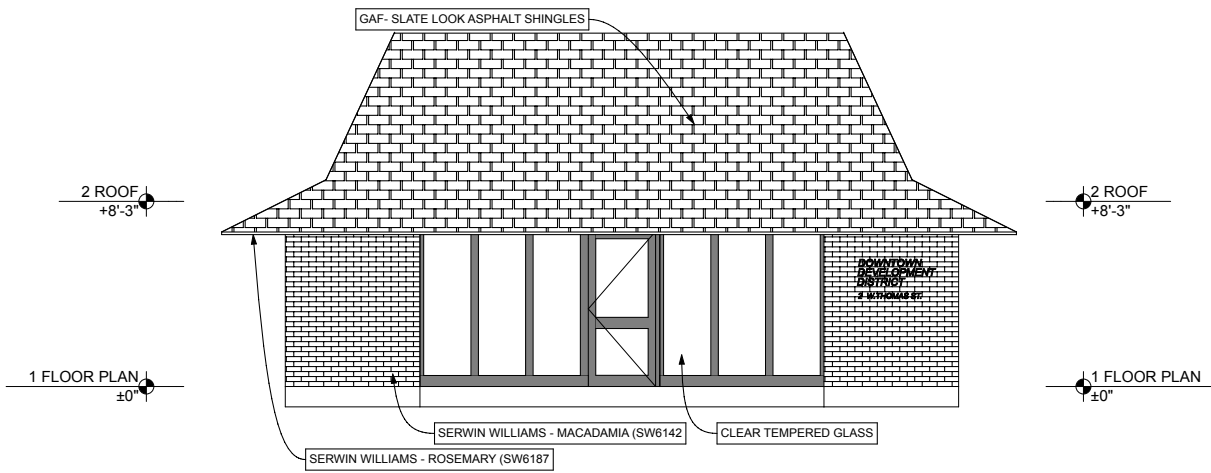
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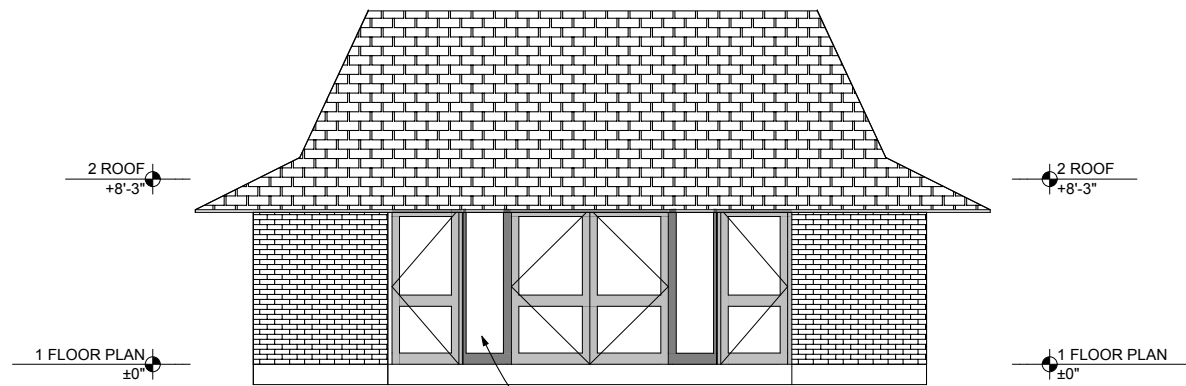
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**ELEVATIONS/SECTIONS**  
drawing no.

**A-104**



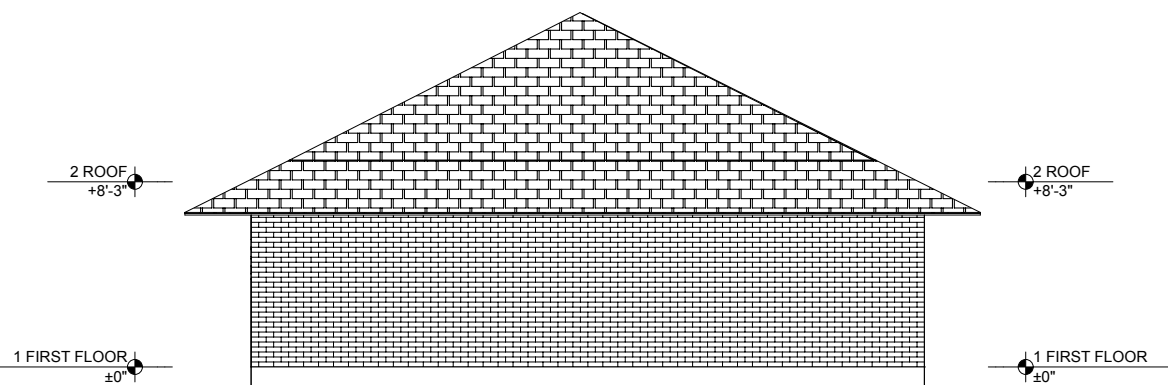
**S. ELEVATION**

SCALE: 1/4" = 1'-0"



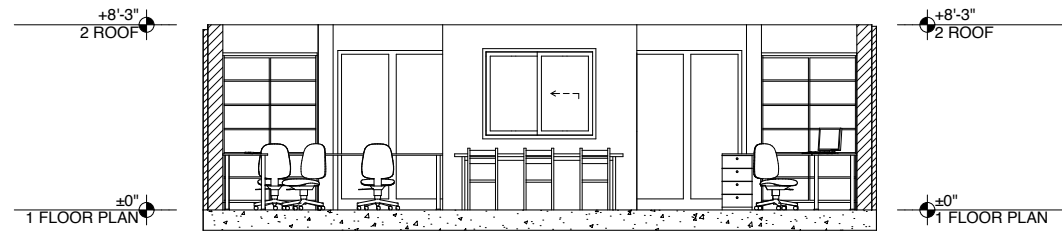
**N. ELEVATION**

SCALE: 1/4" = 1'-0"



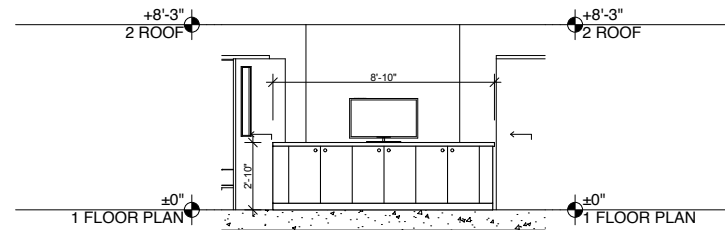
**E. ELEVATION**

SCALE: 1/4" = 1'-0"



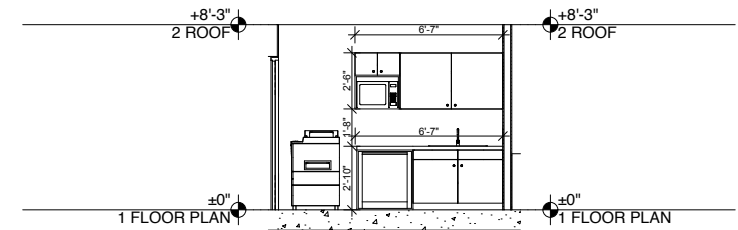
**1 CONFERENCE SECTION**

SCALE: 1/4" = 1'-0"



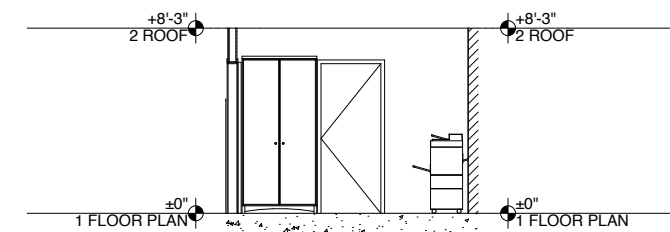
**2 BASE CABINETS SECTION**

SCALE: 1/4" = 1'-0"



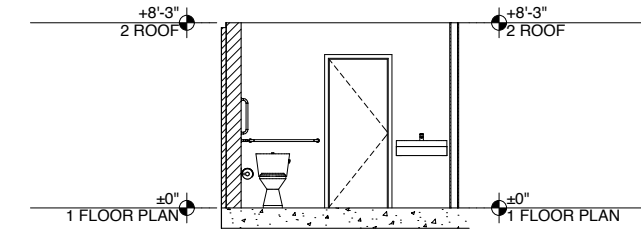
**3 WORK ROOM SECTION**

SCALE: 1/4" = 1'-0"



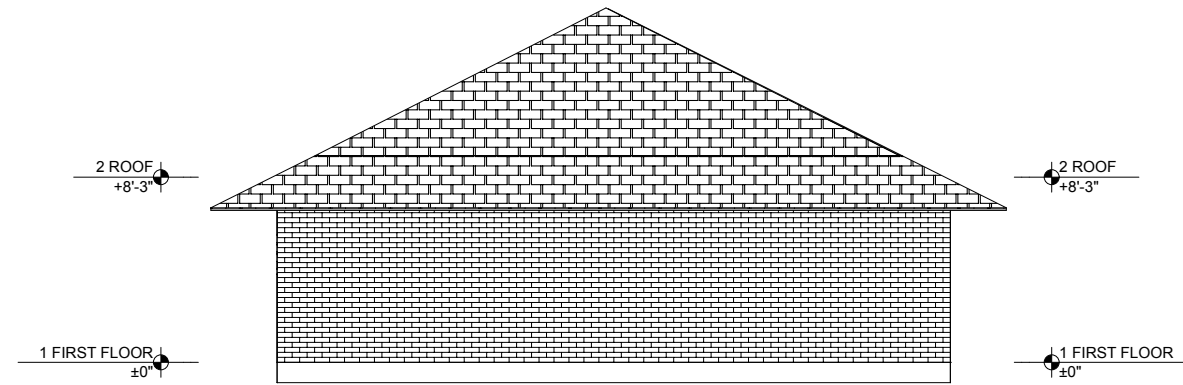
**4 WORK ROOM SECTION**

SCALE: 1/4" = 1'-0"



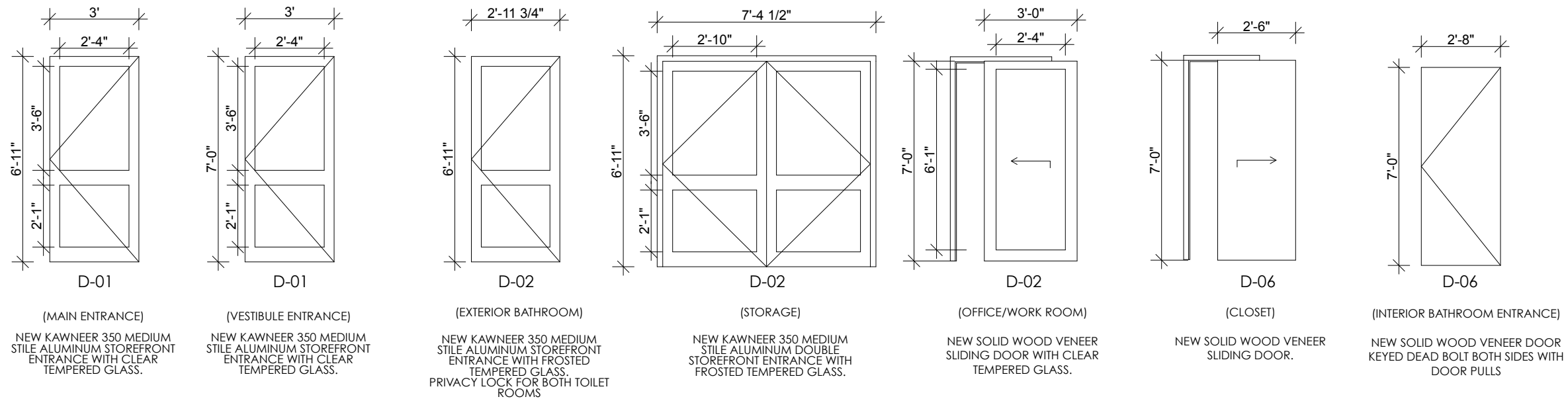
**5 BATHROOM SECTION**

SCALE: 1/4" = 1'-0"



**W. ELEVATION**

SCALE: 1/4" = 1'-0"



**DOOR SCHEDULE**  
SCALE: 1/2" = 1'-0"



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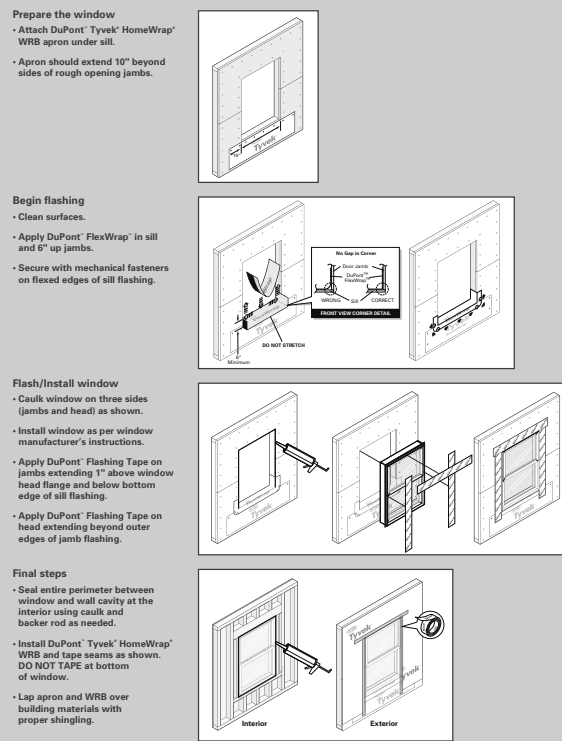
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drawing no. **A-105**

**DUPONT® FLASHING TAPE INSTALLATION GUIDELINES**

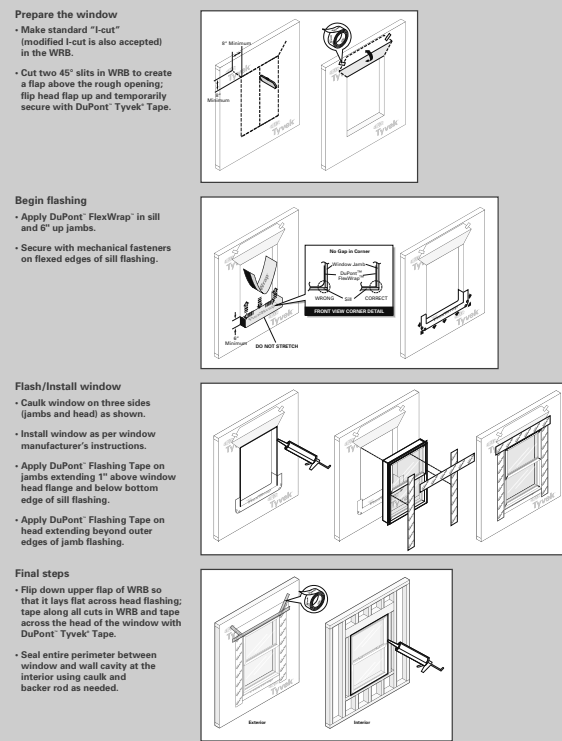
Refer to the general instructions on back cover prior to installation.

**Rectangular integral flanged windows BEFORE water-resistive barrier (WRB) installation guidelines**



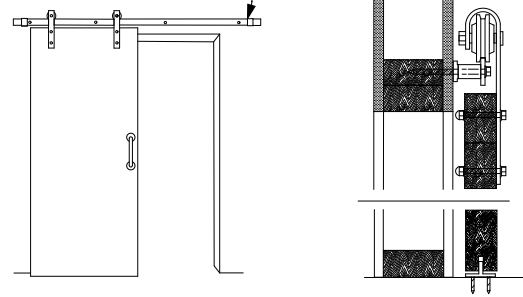
\*For window constructions other than rectangular integral flanged windows, please refer to DuPont® Flashing Systems installation guidelines.

**Rectangular integral flanged windows AFTER water-resistive barrier (WRB) installation guidelines**

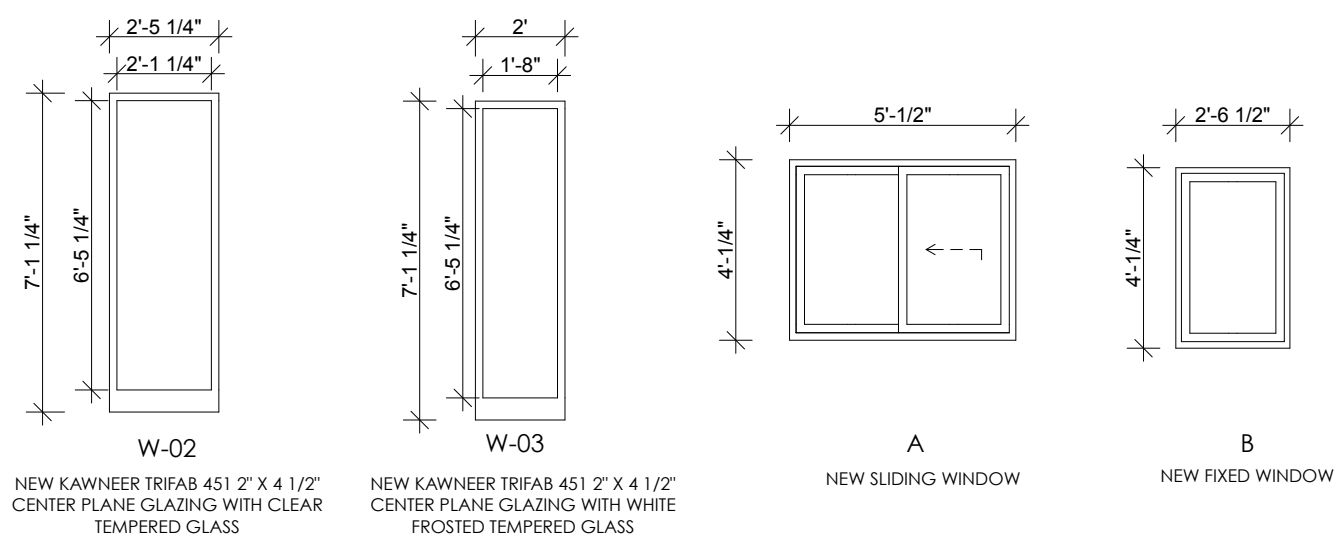


\*For window constructions other than rectangular integral flanged windows, please refer to DuPont® Flashing Systems installation guidelines.

CLIHOME MATTE BLACK INTERIOR/EXTERIOR BARN DOOR KIT FROM LOWES



**SLIDING DOOR HARDWARE**  
NOT TO SCALE



**WINDOW SCHEDULE**  
SCALE: 1/2" = 1'-0"

**MECHANICAL NOTES**

- A. HVAC CONTRACTOR IS RESPONSIBLE FOR ALL DESIGN, SIZING, AND FUNCTIONING OF THE UNITS AND DUCTS. CONTRACTOR MUST VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO DESIGNING A COMPLETE DUCT AND DIFFUSER RELOCATION.
- B. ALL HVAC WORK, INCLUDING BUT NOT LIMITED TO DUCTWORK, AIR HANDLERS, PIPING, SUPPLY VENTS, RETURN VENTS, CONDENSATE LINES, ETC. SHALL BE RELOCATED AND SIZED ACCORDINGLY IF NECESSARY PER THE REVISED CEILING PLAN LAYOUT OF ROOMS AND NEW LIGHT FIXTURES.
- C. ALL HVAC SYSTEMS AND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH 101 LIFE SAFETY CODE.
- D. ALL MECHANICAL INSTALLATIONS MUST MEET COMMERCIAL STANDARDS INCLUDING HEATING, COOLING, WATER HEATING, DUCTWORK, ETC.
- E. ALL MECHANICAL EQUIPMENT INCLUDING UNITS ABOVE CEILING MUST HAVE CLEARANCE TO ACCESS FOR SERVICING. COORDINATE LOCATION OF UNITS IN ORDER TO PROVIDE THIS.
- F. VERIFY THAT EXISTING UNITS HAVE SMOKE DETECTORS INSTALLED OVER 2,000 CFM AND ARE CONNECTED TO THE SMOKE ALARM SYSTEM.
- G. CONTRACTOR SHALL RUN A COMPLETE TEST AND BALANCE OF THE SYSTEM AFTER INSTALLATION AND SHALL MAKE PROVISIONS TO ADJUST THE MECHANICAL DESIGN IF IT DOES NOT MEET THE CORRECT LEVEL OF PERFORMANCE.



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**Downtown Development District**  
**Building Renovations**  
 2 West Thomas Street  
 Hammond, Louisiana 70401

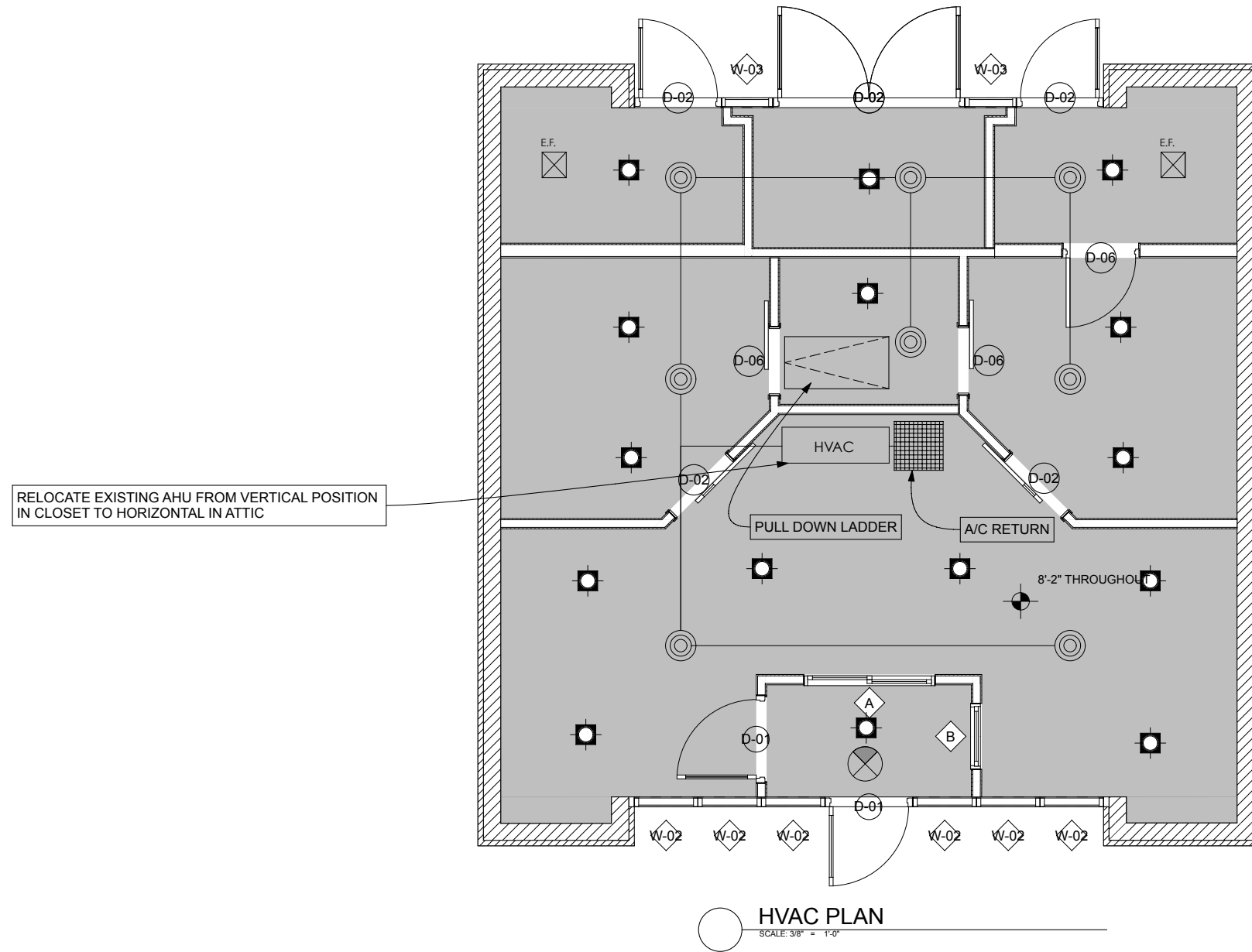
project number  
**pa 2102**  
date of issue

project phase  
**Design Development**  
revision no. revision date

drawn by  
**M. Miller**

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drawing title  
**HVAC PLAN**  
drawing no.  
**H-101**



**HVAC PLAN**  
SCALE: 3/8" = 1'-0"



**PLUMBING NOTES**

- A. CONTRACTOR IS RESPONSIBLE FOR ALL DESIGN, SIZING, ONE LINE DIAGRAMS, ETC. CONTRACTOR SHALL VISIT THE SITE PRIOR TO ANY INSTALLATION OR PRIOR TO SUBMITTING A PRICE TO OWNER.
- B. INSTALL COLD AND/OR HOT WATER LINES TO NEW FIXTURES COMPLETE WITH VALVES AND SHOCK ABSORBERS. PROVIDE ACCESS TO VALVES AS REQUIRED.
- C. ALL PLUMBING STANDARDS SUCH AS INSULATION OF PIPING SHALL BE EQUAL OR BETTER THAN WHAT IS EXISTING.



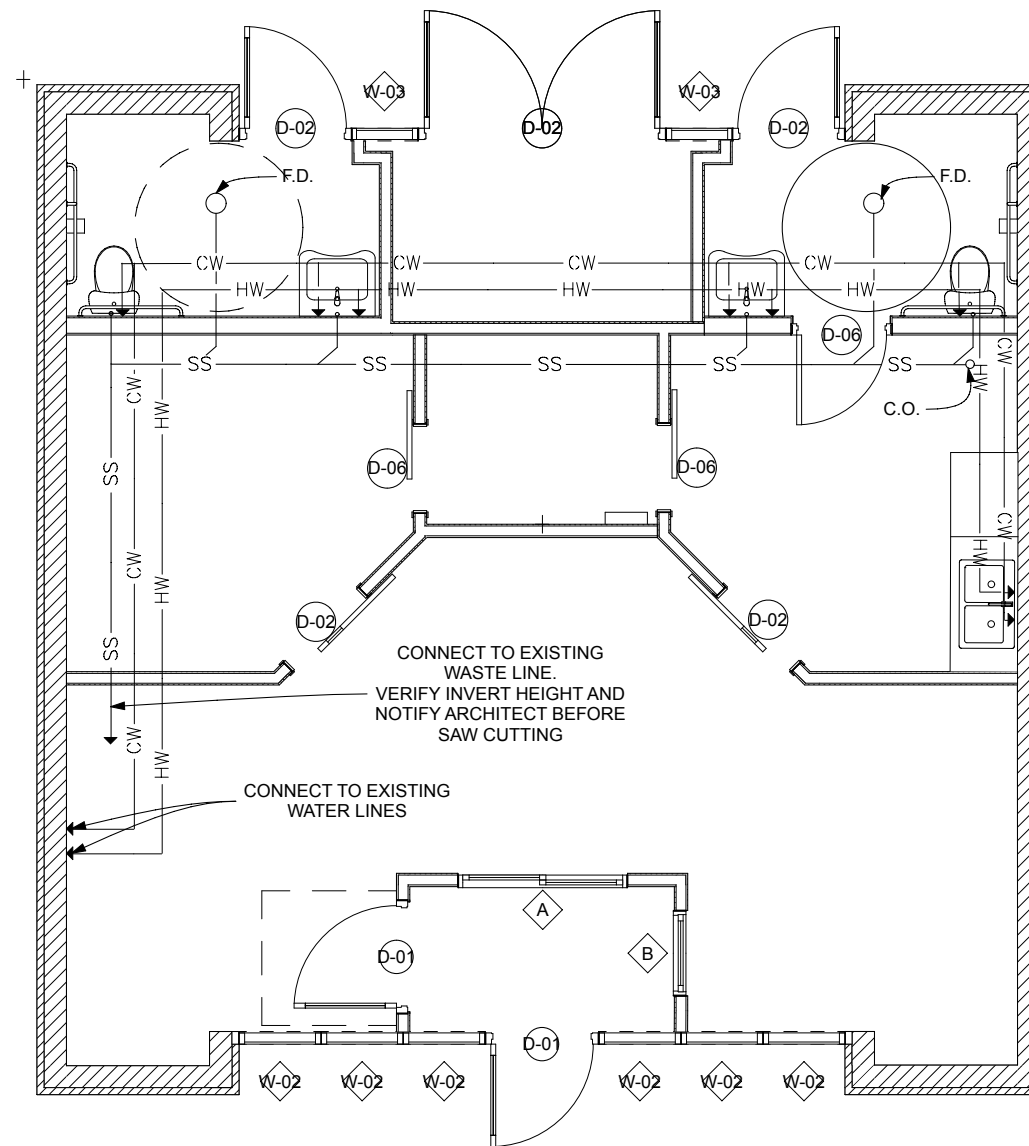
**pistoriusassociates,llc**  
**ARCHITECTS**

studio 109 1/2 west thomas street  
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hammond, la 70404

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**PLUMBING PLAN**  
SCALE: 3/8" = 1'-0"

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 2 West Thomas Street  
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pistonius associates, llc  
ARCHITECTS

tom a. pistonius, architect  
1091 west thomas street  
983.542.4287 • telephone  
www.pistoniusassociates.com

## Downtown Development District - Upgrades to the DDD Building

1000						
<b>Demo</b>	Removal of existing interior storefront walls, cabinets, plumbing fixtures, ceiling tiles and any wall material that needs replacing.		\$3,500.00			
<b>Sitework</b>	Potential Sewer Clean out or Replace, Redo Drainage around, Dig around foundation		\$3,000.00			
<b>Allowances</b>	Asbestos Abatement, Removal of Existing Roof		\$10,000.00			
<b>New Roofing</b>			\$9,000.00			
<b>Masonry</b>	Brick Painting		\$1,500.00			
<b>Metals</b>	General Flashing		\$800.00			
<b>Rough Carpentry</b>	Interior wall Framing, Gyp and Paint		\$15,000.00			
<b>Finish Carpentry</b>	Trim		\$1,500.00			
<b>Insulation</b>			\$2,000.00			
<b>Doors/Windows</b>	New Exterior Storefront Modification, Doors		\$14,000.00			
<b>Finishes</b>	New LVT Float Flooring Over existing	Interior Paint and Ceiling	\$15,000.00			
<b>Specialties</b>	Toilet Accessories		\$1,200.00			
<b>Mechanical</b>	Reorganize and relocate, Vent in Toilets	Units inside and out are brand new - just need to be relocated attic	\$7,000.00			
<b>Plumbing</b>	Install (5) new fixtures, repair waste as needed	New Water Heater in Attic, extend new water lines	\$12,000.00			
<b>Electrical</b>	New Outlets, Lights, Power, Computer Stations		\$7,500.00			
<b>Sub-Total</b>			<b>\$103,000.00</b>			
<b>General Conditions</b>						
	General, Taxes, Overhead, Profit		<b>\$12,000.00</b>			
<b>Total Estimated Cost</b>			<b>\$115,000.00</b>			